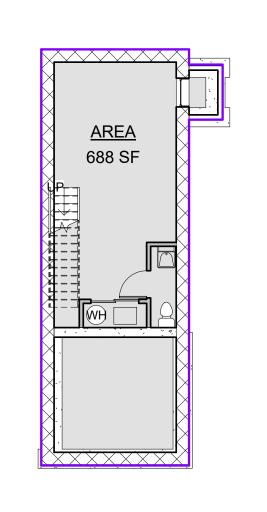
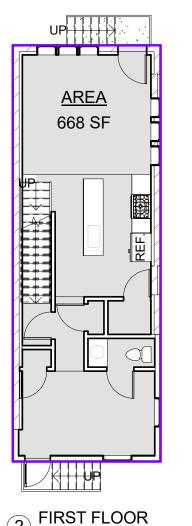
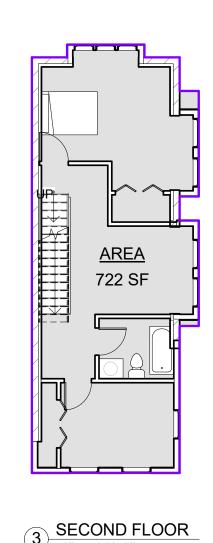
2661 EAST HUNTINGDON STREET

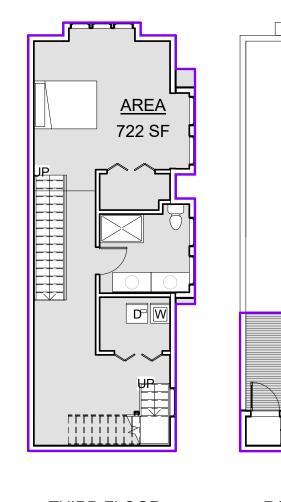
PHILADELPHIA PA,19125

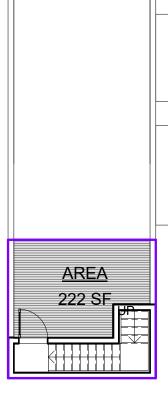
INTERIOR & EXTERIOR ALTERATIONS WITH REAR & THIRD STORY ADDITIONS & ROOF DECK TO EXISTING TWO STORY SINGLE-FAMILY DWELLING WITH BASEMENT





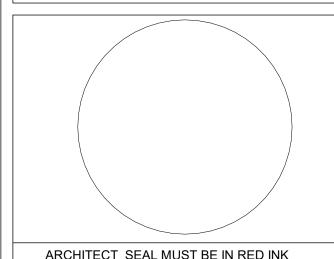








PLATO



MARINAKOS, JR.

ARCHITECT SEAL MUST BE IN RED INK

Universal Builders

2661 E Huntingdon

COVER SHEET

	A-00
Checked by	Checker
Drawn by	-
Date	Progress Print 01.29.15
Project number	Project Number

As indicated

ARCHITECT

PLATO MARINAKOS, JR.

1628 JFK BLVD, SECOND FLOOR PHILADELPHIA, PA 19103

TEL: (610)-207-7678 **TEL**: (267)-639-2932

OWNER

GOLD DIG, LLC.

134 SPRINGTON LAKE ROAD **MEDIA, PA 19063**

CONTRACTOR

UNIVERSAL BUILDING & CONSTRUCTION, LLC.

1511 LINDENHURST RD YARDLEY, PA 19067

CODE ANALYSIS INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2009 INTERNATIONAL RESIDENTIAL CODE (IRC) 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) PHILADELPHIA FIRE CODE *2010* CITY OF PHILADELPHIA BUILDING CODE 2010 **USE GROUP: CONSTRUCTION TYPE:** VB **FIRE SUPPRESSION:** NO SPRINKLERS PER 2009 INTERNATIONAL EXISTING BUILDING INTERIOR & EXTERIOR BLK ADDITION OF A 3RD STORY BSMT **REAR ADDITION** ROOF DECK WITH PILOT HOUSE SYMBOL LEGEND **ROOM NAME** 101 |150 SF COL CONC **FIRE EXTINGUISHER LEVEL** SECTION & ELEVATION INDICATION CONSTRUCTION (0) DOOR SYMBOL **COLUMN NUMBER** 1t A5.1 SHEET # INDICATION

MULTIPXE ELEVATION INDICATION		FROM/T	SIONS ARE TAKEN TO FINISH SURFACE S OTHERWISE
SHEET			Revision
#	SHEET NAME	Sheet Issue Da	te Date
A-00	COVER SHEET		
A-01	SPECIFICATIONS		
A-100	FLOOR PLANS		Date 2
A-101	PARTITION TYPES		Date 2
A-102	REFLECTED CEILING PLAN		
A-103	ROOF PLAN		Date 2
A-104	DEMO PLANS	12/04/15	
A-105	FRAMING PLANS		Date 2
A-200	ELEVATIONS		
A-201	ELEVATION	02/06/14	
A-300	WALL SECTIONS		Date 2
A-500	DETAILS		
A-501	DETAILS	12/04/15	Date 2
A-600	SCHEDULES & DIAGRAMS		
Z-100	ZONING	12/07/15	12/01/16

HEIGHT

INSULATION

INTERIOR

INVERT

WITHOUT

WATER CLOSET

WATER HEATER

WATER RESISTANT

STACKED WASHER/DRYER

ABBREVIATIONS GENERAL CONDITIONS JUNCTION BOX ACOUSTICAL ACOUSTICAL CEILING TILE **ADDITIONAL** LAMINATE **General Conditions** LAVATORY LT WT ADJUST, ADJACENT LIGHT WEIGTH 1. Project Name: 2661 East Huntingdon Street Philadelphia, Pennsylvania 19125 ABOVE FINISH FLOOR 2.Project Summary: Interior & exterior alterations with rear & third story additions & roof deck to existing two story single-ABOVE FINISH GRADE MANUFACTURER familly dwelling (3,022 SF). MAT MATERIAL AGGREGATE 3. Current Code: International Residential Code 2009 or latest version **ALTERNATE** MAX MAXIMUM 4. Allowances and Unit Prices (to be determined) ALUMINUM MECHANICAL 5. Contract Forms Owner Contractor Agreement: AIA A101-1987 or latest version 6.General Conditions: AIA A201-1987 or latest version **APPLICABLE** MANHOLE 7. Project Meeting Pre-Construction Conference Attendance by Owner, Contractor Architect. MINIMUM 8. Progress Meetings: Every two weeks or as directed by owner attendance by Owner, Architect, and Contractor etc. MOUNTED BUILDING review and approval. G.C. allow 10 working days for architect to review and process each submittal. NOT APPLICABLE BLOCK 10. Temporary Utility Service: Use of Owner's existing utility services. **NOT IN CONTRACT** 11.Temporary Facilities: Provide temporary construction, support facilities, and security measures BEARING 12.All codes having jurisdiction shall be observed strictly in the conviction of the project, including all applicable city and state, BRICK ON CENTER zoning, building, electrical, fire mechanical and plumbing codes. BASEMENT OPPOSITE HAND 13.All contractor(s) performing work shall have applicable licenses. **OPNG** OPENING 14. Contactor shall follow all current OSHA safety regulations CABINET OPPOSITE 15.Details and sections on the drawings are shown at specific locations and are intended to show general requirements CENTER TO CENTER throughout. Details noted "typical" or "TYP" imply all conditions treated similarly. Modifications to be made by the contractor to PRESSURE TREATED CEILING FAN PRECAST CONTROL JOINT 16.All dimensions indicated on the drawings are from finished face unless otherwise noted. **CENTER LINE** 17. Refer to Civil Drawings for all finished 1st floor elevations. Architectural finished 1st floor will be 0'-0". PLASTER CEILING 18.All drawings shall be fully coordinated by the contractor to verify all dimensions locate depressed slabs, slopes, drain PLWD PLYWOOD outlets recesses, reglets bolt settings, sleeves, etc. Do Not scale drawings. PAINT CONCRETE MASONRY UNIT 19. The contractor shall be verify and protect all service and utility lines and existing site area from deterioration or damage. PAINTED **PNTD** CARBON MONOXIDE DETECT 20. The Architect/ Engineer shall not be responsible for the safety and construction, procedures, techniques, or the failure of **PORCELAIN** COLUMN the builder to carry out the work in accordance with the drawings, specifications, or required codes, including all OSHA **PROP** PROPOSED **COMPOSITE** CONCRETE 21. Contractor shall obtain all necessary building permits as well as all mechanical, electrical, and plumbing permits. RADIUS **CONTINUOUS** 22. Contractor is to have applicable insurance as required by the building owner. **ROOF DRAIN** CARPET TILE 23. Contractor is responsible for notifying the building inspector a minimum of 24 hours prior to commencing with work REFRENCE **CERAMIC TILE** Contractor is responsible for contacting the building inspector for any/all required inspections for the duration of the project. RECESSED CONDENSER UNIT 24. Contractor shall bring errors and omissions in the Contract Documents found in the field, which may occur, to the attention REFRIGIRATOR of the Architect and Owner in writing and written instructions shall be obtained before proceeding with the work. The REINF REINFORCED DOUBLE contractor will be held responsible for the results of any errors or discrepancies in the Contract Documents that are the result REQD REQUIRED DETAIL of unforeseen field conditions of which the Contractor failed to notify the Architect before construction and/or fabrication of the RES RESILIENT DIAMETER RESISTANT DIMENSION 25.The contractor and Sub-contractor shall verify all dimensions and job conditions at the job site sufficiently in advance of REVERSE DOWN work, to be performed to assure the orderly progress of the work and notify architect immediately regarding any discrepancies ROOM DOOR between field conditions and architectural documents. **ROUGH OPENING DOWNSPOUT** 26. Contractor is responsible for providing required site fencing around perimeter of job site as per OSHA guidelines. SANITARY 27. Contractor is responsible to acquire any/all street and sidewalk closure permits as well as any required dumpster permits SCHEDULE DISHWASHER 28. Contractor is responsible to provide portable job toilet and telephone on site for the duration of the project (as required by S-CONC SEAL CONCRETE SMOKE DETECTOR 29. Contractors shall maintain the premises clean and free of trash, debris and shall protect all adjacent work from damage SEC SECTION **ELEVATION** soiling paint overspray, etc. Contractor to provide daily clean-up to site dumpster. All fixtures equipment, glazing floors, etc. SIMILAR **ELECTRICAL** shall be left clean and ready for occupancy upon completion of the project. **SPEC SPECIFICATIONS ELEVATOR** 30.Design documents signed and sealed by an engineer and shop drawings are required for mechanical, plumbing, electrical EQUAL systems, fire alarm, and fire protection systems to be submitted by the contractor. STAINLESS STEEL **EACH WAY** 31.All manufacturer's printed warnings and/or directions for handling products must be strictly observed. Any items not STANDARD EXHAST FAN compatible with substrate shall be isolated as per manufactures' recommendations STEEL EXISTING 32.Contractor shall supply and install emergency lighting and exit signs as required by code and in all locations approved by STORAGE **EXPANSION** the local fire marshal and or building code official and whether they are shown or not shown on the contract documents. FLOOR DRAIN^{OIN} 33.Contractor shall supply and install fire extinguishers and smoke detectors as required by code and in all locations STRCU1 STRUCTURE **FOUNDATIONS** approved by the local fire marshal and or building code official and whether they are shown or not shown on the contract SUSPENDED FIBERGLASS ROOF DECK SHEET VINYL 34.All codes trades standards, and manufacturer's instructions referenced in the Contract Documents shall be the latest FIRE RESISTANT TO BE DETERMINED 35. The Contractor shall make no structural changes without written approval of the Architect/ Engineer. TO BE SELECTED FOOT 36.No Blasting shall be permitted without prior written approval. TELE TELEPHONE FOOTING 37.Use properly designed shoring, bracing, underpinning, etc. as necessitated by conditions or as required. It is the **TEMP TEMPORARY** Contractor's sole responsibility to determine erection procedure and sequence to ensure the safety of the building and its **THRU** THROUGH GAUGE components parts during erection. TOP OF FOOTING **GALVINIZED IRON** 38.Brace all walls during construction to prevent damage from wind, water, earth, pressure and construction loads until all TOP TOP OF PARAPET **GENERAL** supporting elements are in place and are of sufficient strength. TYP **TYPICAL** GLASS 39.No opening shall be placed in any structural member (other than as indicated on approved shop drawings) until the **UNFIN** UNFINISHED GROUT location has been approved by the Structural Engineer UNO $^{\prime}$ 40.Provide sleeve layouts for all pipes and electrical penetrations through structural members (All trades are included). GYPSUM WALL BOARD UR Layouts are to be submitted to the engineer for approval prior to construction. GYPSUM BOARD UTIL UTILITY 41. Provide fire stopping at all penetrations though rated assemblies, Firestopping location are not located on the drawing. Each Prime contractor shall provide firestopping for their own work. Provide all Underwriters Laboratories UL tested HARDWOOD VINYL COMPOSITE TILE HOLLOW METAL VERTICAL **HORIZONTAL** 42. Support Air conditioning units compressors and other roof mounted or suspended equipment only on joists, trusses or **VENTILATION FAN** beams designed for that purpose. If no support has been designed (or if a question arises) notify the Architect prior to the HEAT PUMP VINYL WALL BASE

erection of the equipment and before the structural erection is complete.

43. Contractor shall provide for dewatering as required during excavation

shown throughout the documents

written evidence that the proposed product conforms in all respects to the specified product.

44. Should the contractor seek approval of a product other than shown with in the specifications the contractor shall furnish

45.Each contractor shall fully review the complete set of contract documents as some work of each prime contractor may be

46.No products containing asbestos or other hazardous material shall be installed on this project or used during the

appropriate insurance covery 48.Contractor shall provide C COPYRIGHT 2015 Plato A. Marinakos, Jr. Architect, LLC

Section 2 Site Work and Foundations

1.Perform all site work in this section in conformance with the Final Soils Compaction, Geological Reports, and Approved site plan accepted by Owner and Building Department. In the absence of the necessary subsurface survey, the Contractor shall hire a licensed soils engineer to investigate the site to adequately verify that the soil is capable of safely bearing 2000 psf and report back to the architect. If a discrepancy from the presumed soil bearing capacity exists, Contractor shall not place foundations, piers, etc. without written instructions from the Designer. 2.Presumptive Soil Bearing capacity 3000 psi virgin soil. No excavation shall be made whose depth below the footing is greater than two times the horizontal distance from the nearest edge of that footing. All concrete footings shall bear on undistrubed soil or engineered fill. Bottom of footing shall

determined in accordance with ASTM D-1557. Backfill shall not be placed against any below grade walls until floor framing and decking or sheathing is in place. Building site shall be kept dry so that erosion will not occur in the foundations. Do not backfill until walls and/or concrete has sufficiently cured to sustain design loads.

4.Backfill at lawns and unpaved areas shall be free of clay, rock, or gravel larger than 2" in any direction, debris, vegetable matter, waste, and frozen materials. Place in 12" layers and compact to 90% max. density in accordance with ASTM D-1557.

5.All slabs on grade shall bear mechanically compacted crushed stone capable of supporting 2,000 psf. Backfill shall be brought up equally on each side of the wall.

7. The maxim depth of unbalanced fill against the foundations walls shall be computed as follows: depth is measured from the finished grade at the exterior side of the building down to the top of the basement floor or the top of inside ground level. The maximum depth of unbalanced fill is as follows: 8" wide concrete wall 7'-0"/ 10" wide concrete wall 8'-0" depth/ 12" wide concrete wall 9'-0" depth.

8.Do not backfill walls until floor has been applied to the structure. 9.Where concrete trench footings are used, excavation shall be neat and true concrete to be cast immediately upon formation of the trench.

11. The General Contractor must take measures to control soil erosion. 12. Walls retaining earth (including basement walls) shall not be backfilled for a minimum of 14 days after concrete is poured

13. Loading dock, basement walls, and other exposed concrete walls shall have control joints a maximum of 20ft on center unless noted otherwise on the drawings. Masonry or concrete walls with integral piers or pilasters shall have a formed control joint on one side of each pier on the exposed

B. Minimum of 560 pounds cement per cubic yard.

C. Maximum water to cement ratio of 0.45. D. 6% entrained air.

E. Slump at point of placement to be 3 inch minimum and 5 inch maximum. Contact engineer if pumpable mixes will be used

3.Concrete driveways, curb, walk patios, porches, carport slabs, and other flat work exposed to the weather, and garage floor slabs shall be air entrained and have a minimum 28 day compressive strength of 3,500 p.s.i. All remaining concrete shall have a minimum 28 day compressive

2", Exterior wall surfaces is 2", In all cases not less than the diameter of the bars. 5.On grade concrete slab the WWF reinforcement shall be located midway in the slab thickness. Lap splices 12". On grade slabs shall also be

6.All WWF shall be ASTM A185. Lap all WWF a minimum of 6 inches.

8. Provide concrete reinforcing bars at footing locations. Minimum of 3" concrete coverage, unless noted otherwise.

9.Concrete slab on grade shall be finished to tolerance for floor flatness of 25 and floor levelness of 20 unless otherwise noted on the architectural 15LM. See drawings for more information.

(minimum 48d long each way) to match horiztonal reinforcement at wall corners and T intersections.

8. The top of all footing shall be roughened prior to pouring the wall.

plate and 4'-0" O.C. (maximum) intermediate spacing, minimum 2 straps per bearing plate section. 11.Concrete in locations subject to freezing and thawing during construction shall be air entrained concrete. Total air content (% by volume of

for anchor bolt method.

12 Provide 6 mil polyethylene vapor barrier membrane complying with ASTM D-2103 where indicated on drawings Section 4 Masonry | Sectio

2.All hollow load bearing block shall conform to ASTM C-90 Type I moisture controlled. All solid block to conform to ASTM C-145. Minimum net

15 5/8". Provide opening in all CMU work as indicated on Drawings. Use full size CMU whenever possible. Cut only with motor driven saws for clean edges. All joints to be struck flush. For starter courses on concrete footings provide full spread out mortar bed including area under cells. 3. Fill CMU cells with solid concrete or grout at all units to receive expansion anchors or located directly below bearing walls, rears, doors, and door

grade. Type S mortar shall be used for walls and partitions above grade. 5. Grout shall be a high slump mix in accordance with ASTM specification C-476, having a minimum compressive strength of 3,000 psi.

consultation with Architect. 7.Do not wet CMU before laying.

existing masonry with hand tools only. Patch all masonry damaged by this work. Repairs to existing masonry work shall match adjacent materials

10. Existing masonry walls located inside of the new enclosure are to be cleaned and restored before construction work begins. Prior to full scale cleaning of the wall, test a small, inconspicuous section of masonry to determine the effectiveness and scope of work. Where mortar joints are cracked, loose or crumbling, rout out joints, clean, and re-point with mortar to match existing. Follow with lower pressure power washer filled with

water. Allow surface to dry and dust with straw brush to remove loose aggregate. Final surface is to be as stable and free from loose grit as possible without changing the nominal dimension or stability of masonry. Section 5 Metals, stone, etc.) veneer wall shall have galvanized wall ties secured to framing. Each tie shall be spaced not more than 24" on center izontally, 16" vertically, and shall not support more than 3.25 square feet of wall area. 1" air space building wrap (or felts) and flashing shall be

1.Steelwork shall conform to the current specifications for the design, fabrication and erection of structural steel for buildings as adopted by the AISC. Connections shall be bolted or welded. Bolts shall conform to ASTM-325 and be 1/2" diameter unless noted otherwise on drawings. 2.All structural steel shall be in accordance with ASTM specifications A-36. Steel for pipe columns shall be of equivalent capacity and weldability to ASTM specification A-501.

3.All steel shall be thoroughly cleaned in accordance with SSPC-SP6 (shop blasted) and have a shop coat of rust inhibitive paint. Field painting to be per architectural specifications.

5.Delete paint on steel which is to receive sprayed on fire proofing or be encased in concrete. 6.Base plate leveling grout to be 9000 psi minimum non-shrink.

7. Anchor bolts shall be ASTM F1554. See plans for sizes. 8. Orient all mill camber up during fabrication and erection.

9.All steel shall be fabricated and erected in accordance with the latest AISC specifications.

10.Bolted connection details shown on drawings are for information purposes only. Fabricator is to design connections to the following parameters and submit shop drawings for approval by the engineer prior to beginning fabrication: A.Loads shown on drawings are un-factored. All connections should be designed with a minimum capacity exceeding two times the load noted. All

B.Bolts to be minimum 3/4 inch unless noted otherwise on drawings. Use ASTM A325N for shear connections and ASTM A490-SC for brace

C. Minimum 3/8 inch thick plates and angles unless noted otherwise on drawings.

such as columns and bearing plates. T is the value found in AISC (13th Edition) Table 1-1, and t is the web thickness. 12. All shop and field welding to be in accordance with latest edition of AWS D1.1 Welding rods to be E70XX for steel connections, E80XX for brace connections, and E60XX for steel to metal stud connections.

13. Sheet Metal Fabrications closures and trim, filler panels, Products: Aluminum sheet: ASTM B 209, alloy 5005 H15., Fasteners, Anchors, and Inserts: No corrosive, Gaskets: Flexible cellular neoprene, ASTM D1056, Bituminous Paint: Asphalt mastic, SSPC-Paint12. Finish Aluminum: Color Green to match existing color.

14.Steel fabricator is solely responsible for coordinating with general contractor for the purpose of surveying and verifying as built conditions including but not limited to location, elevation, and dimensions of features prior to fabrication.

15. Submit all steel shop drawings for approval prior to fabrication. 16.All lintels and shelf plates to be hot dipped galvanized. Any points of welding shall be touched up with a zinc rich paint. 17.Manufacturer of cold formed metal framing must submit literature indicating the metal framing strength and stiffness including capactiy of members,

19.All structural metal studs shall be hot dipped galvanized (G60) in accordance with ASTM A924. Cold formed framing shall be designed,

manufactured, and installed in accordance with the latest edition of AISI specifications and shall comply with ASTM A653 & C955. 20.All studs, joists, and accessories shall be Fy 50ksi and 16ga or heavier. Do not flame cut light gauge steel framing.

be minimum of 3'-0" below finish grade or top of slab elevation, whichever is lower. 3.All backfill at structures, foundation, footing, and pavements shall be clear granular fill. Place in 8" layers and compact to 95% max. dry density

10.No excavations shall be made whose depths below the footing is greater than 1/2 the horiztonal distance form the nearest edge of that footing.

face of the wall. All control joints shall be filled with SikaFlex 15LM sealant. 14.See Civil Engineer's Drawings for further specifications.

1.All reinforced concrete shall be furnished and installed in accordance with the current ACI Building Code ACI-318 "Building Codes requirements for Reinforced Concrete" and ACI Code 301.347

2.All concrete shall be ready mix and have the following characteristics: A. 4000 psi minimum compressive strength at 28 days.

F. Do not add any water at site.

4.Reinforcing steel shall conform to ASTM-A615. Grade 60. Welded wire fabric shall be 6x6, 10/10 and conform with ASTM A-185. Clearance of main reinforcing from adjacent surfaces unless shown otherwise: Uniform surface in contact with ground or exposed to weather is 3", Bottom surfaces of slabs on grade is 3", Formed surfaces in contact with ground or exposed to weather is #7 bars or smaller is 1.5" and bar #7 and larger is

protected with vapor barrier lapped 12" minimum at all seams.

7.All concrete shall be air-entrained. Exterior concrete shall have 5% air entrainment.

drawings. Control joints shall be spaced at 15 ft maximum each direction unless noted otherwise on drawings. Provide 1/2 inch thick expansion joint (Deck-O-Foam closed cell polyethylene or equal) wherever slab meets walls or other structures. All joints (top 1 inch) should be filled with Sikaflex 10. Provide keys in concrete walls, piers, grade beams, and footings at intersections unless noted otherwise on drawings. Provide corner bars

11.Concrete shall cure for at least 10 days before beginning steel erection. Concrete slabs and decks are not designed for storage of materials or neavy equipment. Contact engineer before placing any construction loads on slabs or decks.

9. Provisions must be taken to protect all concrete work, from frost damage with special attention paid to footings and other on grade construction prior to backfilling and enclosing the building. 10.Anchor straps shall be galvanized metal straps approved for direct substitution of anchor bolts. Straps shall not be more than 12" inches from

concrete) shall be not less than 5% or more than 7% 12.Unless noted otherwise, anchor bolts shall be 5/8" diameter minimum and 15" long for grouted masonry. Placement of anchor bolts shall be 12"

from plate ends, 3'-0" O.C. maximum intermediate spacing, minimum 2 bolts per bearing plate section. Approved strap anchors may be substituted

"Recommended Practice for Concrete Formwork" (Standard 347). Temporary shoring of formwork is the sole responsibility of the contractor.

1. All masonry construction shall be in accordance with "Specifications for the Design and Construction of Load Bearing Masonry", published by the compressive strength (f'm) shall be 2,000 p.s.i. All CMU shall be laid in a full bed of mortar with solid bearing caps. Unit face size (nominally) 7 5/8" X

frames minimum of (3) courses or to concrete footing. Any masonry foundation walls to be filled solid with grout. 4.Mortar and grout shall meet requirements of ASTM C-270 and requirements specified herein. Type M mortar shall be used for exterior walls below

6.Provide a lintel over every opening greater that 16" Lintels shall be reinforced CMU bond beam with minimum 8" bearing on each end or, upon

8.Cut new opening in existing masonry where indicated on Drawings. Opening shall be made without the use of power driven tools. "Tooth-out" 9.Provide hot-dipped galvanized truss type horizontal joint reinforcement (min. 9 gauge) at 16" o.c. vertically in all masonry walls below finished

4.All steel shall be painted with one shop cost of red oxide paint. Primer or approved equal field painting shall be as directed by the architect.

connections without loads noted shall be designed as full depth double angle with bolts spaced at 3 inch centers.

11.Beams with T/t greater than 36 shall have 3/8 inch thick full height plate stiffeners installed on both sides of web directly over/under bearing points

framing details, connections, bracing, and bridging to conform to load criteria. 18.Cold formed metal headers indicated on drawings are to be provided by manufacturer/suppplier.

21.All welding of light gauge framing must use E60XX electrodes and be completed in accordance with AAWS D1.3. Always use welds where shown on drawings.

Section 6 Wood And Plastics

increased as shown, to the lowest level.

1.All woods and wood construction shall comply with the specifications and codes with modifications as specified herein: Section 2308 of the 2009 IBC, American Institute of Section 8 Doors and Windows Timber Construction (Standard Manual), National Forest Products Association National Specifications for Wood Construction, South Pine Inspection Bureau Standard Grading Rules for Southern Pine Lumber, Truss Plate Institute Design Specifications for Light Plate Connected Wood Trusses (TPI-14), and American Plywood Association Guide to 1. Reference Standards for metal doors, wood doors, and windows shall be as follows: Underwriter's Laboratories Inc. Building Material Directory, Plywood Association Guide to Plywood for floor, plywood, sheathing for wall and roofs, Amercian Wood Presevers Association Standards. 2.All Structural Lumber shall be Spruce Pine Fur #2(minimum) stress grade lumber noted otherwise (MIN STRESS (E)= 1.8 X 10 6 PSI

3.All structural lumber shall be stamped in accordance with the American Institute of Construction's "Construction Manual". 4.Rough Carpentry: Framing with dimension lumber, sheathing, sub flooring, underlayment and air infiltration barrier. 5. Lumber Standards and Grade Stamps: PA 20 American Softwood Lumber Standard and inspection agency grade stamps.

6. Hangers, framing anchors and fasteners provide and install stamped and fabricated steel of type indicated (as required). Nail to be those furnished per manufacturer for this compartments where the bottom exposed edge of the glazing is less than 60 inches (1525 mm) above the standing surface; glazing in an individual fixed specific use. Nails to be those furnished by manufacturer for this specific use. Nails shall be fully driven in all holes in the anchor. 'Teco" etc. conforming to requirements indicaor operable panel adjacent to a door where the nearest exposed edge of the glazing is within a 24 inch (610 mm) arc of either vertical edge of teh door in shall be provided. All hangers and anchor shall be galvanized. 7.Install pressure treated lumber where lumber is exposed on the exterior, within 8" of grade, or in contact with concrete. Preservative Treatment AWPA C2 for lumber and operable panel, other than in those locations described in preceding items E. and F., which meets all of the following conditions: G1. exposed area of an AWPA C9 for plywood; waterborne pressure treatment

8.All headers at bearing condition consult lintel schedule. 9.All headers at non-bearing conditions shall be as follows unless noted otherwise: opening up to 4'-0" header shall be 2 2x8, 6'-0" to 9'-0" opening and nonstructural in-fill panels) shall meet the requirements set forth in the BOCA header shall be 2 2x10. 10. Roof Sheathing APA approved 3/4" exterior grade plywood with metal clips at side pan between trusses or wood rafters whenever spacing is greater than 16"OC unless no for openings for human passage, unless such panels are provided with a horizontal member 1" minimum in width located between 24" and 36" above the

otherwise 11. Floor Sheathing to be 3/4" T&G interior/exterior glue GIS plywood unless noted otherwise, Construction Panel Underlayment for Resilient Flooring: APA Underlayment for the exterior or to unconditioned areas shall be fully weather stripped, gasketed, or otherwise treated to limit air

Underlayment for Carpet: APA Underlayment Exposure 1. 12. Provide corner bracing at all corners consisting of a minimum 2 2x4 corner studs with 21/32" plywood panels (4'-0"x8'-0") with the longer dimension horizontal for the entire 4. Provide threshold at all exterior doors. height of the wall. All exterior walls are to be braced with 21/32" plywood panels applied as noted above every twenty-five (25) lineal feet (maximum). 5. Provide doors window and glazing sizes as indicated on the drawings. 13. Maintain a minimum of 8 inch clearance from all wood framing members to exposed earth. All wood framing members including wood sheathing which rest on exterior 6. Window sizes comply with information and notes as indicated on the plans.

foundation walls and are less than 8 inches from exposed earth shall be approved natural durable or pressure-treated wood. 14.Air Infiltration Barrier: Tyvex Commercial Wrap under most approved finishes or Tyvex Stucco Wrap under stucco finish 15. Finish Carpentry: running trim and rails, species and grade: pine, smooth, finish paint, and fasteners countersunk and concealed. 16.Install exterior grade pressured treated deck w/ square ends steel glav. steel galv. screws.

17.All glue laminated beams (i.e. PSL) shall meet minimum design loads: Fb = 2800 psi Fx = 290 psi E = 2,000,000 psi 18a.Design, fabrication, and installation of trusses and sheet metal connectors shall be in accordance with the following standards and specifications: A) Supplement to engineering bulletin #SE-266; dated 4/19/60 as A.S. DIV. FHA 1/4/64. B)International Conference of Building Officials report #17414.5, 9/6/68. C)Design specifications for lightGreen Color. Provide operating hardware, insect screening. Kawneer or owner approved equal metal plate connected wood trusses T.O.I. 70. D)B.O.C.A. Code - latest edition.

shall be engineered to accept all imposed loads as dictated above. 18c.All members of trusses to be fabricated from stress grade lumber having the following properties: Fb = 1,400 psi Ft = 950 psi Fcll = 1,100 psi Fcl = 345 psi 18d. The truss manufacturer will provide calculations indicating additional snow and dead loads for roof locations with gussets, crickets, and valleys requiring additional roof

Section 9 Finishes

framing for intersections of higher or lower roofs in accordance with ANSI A58.1, 182. 18e. Shop drawings, signed and sealed by a professional engineer registered in the state of the project, shall be submitted to the architect for approval as stated herein prior to Wallboard, "as approved by the American Standards Associate, latest edition, Comply with recommendations of GWB Manufacturer. Install 5/8" GWB fabrication and for design intent only. 19. Double floor joists under all interior partitions running parallel to framing. 20.All ijacks or posts are to line up with those at the floor below even when posts are not required by framing of the floor; in other coating shall be in strict accordance with Manufacturer's directions. Ready mixed paint shall not be thinned, except as

21. Wall sheathing to be 1/2" CDX plywood or 1/2" type "x" gypsum sheathing, or approved equal. Refer to drawings for specific locations. 3.All exterior and interior surfaces shall receive the painter's finish except color coordinated factory finish surfaces. Top and bottom of all doors are to be 22. Unless otherwise noted, wall stud framing shall be double at beam ends and framed openings, if opening is over 6'-0" - triple studs. sealed and painted 23.Exterior horizontal siding to be premium post for extruded vinyl, or aluminum as indicated on drawings. Install as per manufacturer's printed instructions. 24.Exterior trim shall be certainteed accessory line or wood #2 or better. Wrap with vinyl as indicated on drawings. See drawings for size and locations.

including loads from header framing into the double joist. 26. Stud bearing walls shall be hem-fir structural grade or better 2x4s at 16" O.C. unless noted otherwise, and shall have two (2) continuous top plates which are spliced at stucexterior wood trim to be back primed prior to installation. Apply on coat exterior primer, two finish coats. MAB bone white flat for walls and MAB low luster locations only and splices are staggered between plates. 27. Multiple studs shall be nailed to each other with 10d nails at 8" spacing entire stud.

29. Holes bored in joists shall not be within 2" of the top and bottom of joists and their diameter shall not exceed 1/3rd of the depth of the member. 30.Firestopping Firestopping shall comply with BOCA 921.0: Firestopping shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective commendation contained in the Tile Council of America "Handbook for Ceramic Tile Installation"

fire barrier between stories, and between the top story and the roof space. Firestopping shall be provided in wood-frame construction in the following locations: 1)In concealed and manufacturer's printed instructions. spaces of stud walls and partitions, including furred spaces, at the ceiling and the floor level; 2)At all interconnections between concealed spaces such as occur at soffits,

13.Setting material may be either dryset mortar in compliance with ANSI A118.1 and A118.2 or organitic adhesive in compliance with ANSI A136.1, using dropped ceilings, cove ceilings, etc.; 3)At the openings around vents, pipes, ducts, chimneys, and fireplaces at ceiling and floor level, with noncombustible materials. Except as provided in item 4 above, firestopping shall consist of 2" nominal lumber, or 2 thicknesses of 1" nomimal lumber, or 2 thickn nd particleboard, or other approved materials. The integrity of all firestops shall be maintained.

1x3 bridging nailed to the bottom of the joists at intervals not exceeding 10 ft. 32.Microlam (LVL) engineered beams and headers shall have the following minimum design properties: Fb = 2600 psi Fv = 285 psi E = 1,900,000 psi 33.Timberstrand (LSL) engineered ledgers, rim boards, joists, etc. shall have the following design properties: Fb = 2325 psi Fv = 310 psi E = 1,550,000 psi 34.Plywood sheathing shall APA Rated structural I panels, conform to the following:

A.Roof deck sheathing: 3/4" thick, Exterior Grade - APA Rated. Diaphragm nailing; 8d nails at 6" on center all edges, 10" on center elsewhere. B. Sub-floor: 3/4" thick T&G, 48/24 INT-APA with exterior glue (CDX). Diaphragm nailing; 6d nails at 6" on center all edges, 12" on center elsewhere except for Braced Wall Panels. See drawings for panel locations and nailing schedule. 35. All beam support posts in walls and jamb supports for headers shown at levels above first floor shall also be constructed in walls below to provide continuous support for concentrated loads to foundation level (typical unless noted otherwise on framing plans). Built up wood posts and girders shall be glued and fastened together with 16d nails at 6"

36. Exterior and load bearing stud walls shall be constructed with horizontal blocking (same size as stud) at maximum vertical spacing of 5'-0" on center. 37. Lumber for exterior construction in direct contact with concrete foundation walls (sill plates, blocking, etc.) shall be pressure treated in accordance with the AWPA or Federal Specification TT-W-571 38.All walls running parallel to joists shall have a supplemental joist installed under or immediately adjacent (within 1 inch of wall edge) to the wall. See drawings for joist

placement and fastening at braced wall panel locations Section 7 Thermal and Moisture Protection ne "TJI Joist Specifier's Guide TJ-4000" latest edition. Guidelines for fastening, blocking, bracing, and holes must be closely Sections 22, 23, 26 Plumbing, HVAC, and Electrical:

1. The following specifications shall govern with modifications as specified: American Society of Heating, Refrigeration and Air Conditioning Engineering (ASHRAE) Handbook of Fundamentals. 2.Install flashing and sheet metal in compliance with "Architectural Sheet Metal Manual" by SMACNA. 3.Aluminum flashing shall conform to ASTM B-209, and the minimum 0.016" thick standard building sheet of plain finish.

4.Galvanized steel flashing shall conform to ASTM A-526,0.20 percent copper 26 gauge(0.0179 ASTM A575 designated G 90 hot-dip galvanized phosphalized. 5.Back paint, flashing with bituminous paint where expected to be in contact with cementitious materials or dissimilar metal.

6.Provide and install flashing at all roof to wall conditions, projections of wood beams through exterior walls exterior openings and elsewhere as required to provide watertight 1/2. Licensed and insured plumbing contractor to provide design build proposal. Contractor shall be responsible for all new plumbing indicated in 7. Roof valley flashing shall be provided of not less than no.26 galvanized sheet gauge corrosion-resistant metal or copper and shall provide required demolition and coordination of existing systems. Contractor to provide riser diagram indicating type and size of flow line formed as part of the flashing. A section of flashing shall have an end of not less than 4".

8. Building Insulation: Thermal insulation at masonry walls board type, thermal insulation at underside of roofs, over heated spaces and over soffits, blanket type, thermal insular for installations of any unit. Contractor responsible for all required permits. blanket type, Acoustic insulation at interior partitions, sheet vapor retards. 9.Extruded polystyrene, rigid, ASTM C578, integral vapor retarder as required for application. R-15 minimum 10.Blanket/Batt Insulation:Glass fiber or mineral slag fiber,ASTM C 665, Type III (foil-scrim-kraft vapor-retrader membrane)R-30 minimum 11. Vapor Retarder(not intergral with Insulation) Type: Reinforced 2ply polyethylene,6 to 8 mils.

12.Accessories: Adhesive and mechanical anchors. Protection board, crack sealers and tapes 13.Stucco finish 3 layers of stucco over approved substrate with glav. Metal lath 14.Roof Fully adhered EPDM 60 mil membrane 2 inch board insulation on stl deck typ 15.Flashing and Sheet Metal: Metal counter flashing and base flashing, Exterior wall flashing, built-in metal valleys, gutters and scuppers, guttered and downspouts, exposed ru.n.o.trim and fascia units 16.Sheet metal accessories. Product: Extruded aluminum: 6063-T52, baked enamel,0.080 inches for primary leges of extrusion.; Fabricated Units: Compliance with SMACNA Architectural Sheet Metal

17. Auxiliary Materials: Bituminous isolation coating, mastic and elastomeric sealants, reglets and metal accessories, gutter and conductor head guards, asphaltic roof cement. 18. Joint Sealers: joints sealers at interior and exterior vertical and horizontal joints; Products, Silicone Sealants, Type and Application: One part nonacid-curing silicone sealant, ASTM C920, for vertical and horizontal joints, modulus as required for application, exterior and interior use, one part mildew resistant silicone sealant, ASTM C 920, for sanitary applications, interior use; Compression seals Type: Performed hollow neoprene gasket, ASTM D 2628, for wide joints in vertical surfaces.

19.Enclosed attic spaces and roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrace of rain. The net free ventilating area shall not be less than 2/3 of one percent (1%) of the horizontally projected roof area, or 1/3 of one percent if at least 50% of the required ventilating area is provided by ventilators located in the upper eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. 20. Provide and install 3 1/2" thick kraft faced glass fiber batt insulation with an insulation-only value of R-13 in all exterior stud walls and garage/living space walls unless noted otherwise.

21. Provide and install 9" thick kraft faced glass fiber batt insulation with an insulation-only value of R-30 in roof or ceiling unless noted otherwise. 22. Provide and install 1" thick rigid foam plastic insulation board with a minimum insulation-only value of R-5 in accordance with manufacturer instructions where shown on drawings. 23. Provide and install batt insulation at window shim places.

24.Fit insulation tight within spaces and tight to and behind mechanical and electrical services within the plane of insulation. Leave no gaps or voids. 25.Install type 15 felt (per "UL" standard spec 55A Rev. October 1975) under exterior trim and siding. Apply so as to form a watertight membrane. Overlap each course below 2" minimum at horizontal joints and 6" vertical joints. 26. Provide sealants and chaulking meeting applicable specifications where shown on the drawings and elsewhere as required to provide a positive barrier against moisture and passage of air.

27. Provide and install 3 1/2" thick batt insulation at mechanical closet walls and ceilings 28. Provide and install a 6 mil. polyethylene vapor barrier complying with ASTM D 2103 where shown on drawings. 29. Provide damproofing or waterproofing to all walls below grade. Covered specifications approved with soils engineer. Application shall be manufacturer's instructions. 30. Roofing shall be 235# fiberglass shingles. Shingles shall be fastened according to manufacturer's instructions but not less than two (2) nails per each shingle. Provide and install one layer of 15 lb.

building felt under shingles. Color and style by owner. 31. Gutters and downspouts to be style "k" (OGEE), 0.32 prefinished aluminum. Provide splash blocks at bottom of downspouts. Runoff shall be directed away from building and not across walkways.

National Fire Protection Association Pamphlet No. 80 Standard for Fire Doors and Windows, National Wood work Manufacturer's Wood Flush Door, Air Leakage 9 (ASTM E283) Water resistance (ASTM E 331)

2.Glazing in locations which may be subject to human impact such as glazing in ingress and means of egress doors except jalousies; glazing in fixed and sliding panels of sliding (patio) door assemblies and panels in swinging doors; glazing in storm doors; glazing in all unframed swinging doors; glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs, and showers; glazing in any portion of a building wall enclosing these a closed position and where the bottom exposed edge is less than 60 inches (1525 mm) above the walking surface; glazing in an individual fixed or individual pane greater than 9 squaure feet, G2. exposed bottom edge less than 18 inches above the floor, G3. exposed top edge greater than 36 inches above the floor, and G4. one or more walking surface(s) within 36 inches horizontally of the plane of glazing; all glazing in railings regardless of area or Code and the Safety Standard for Architectural Glazing Materials(16 CFR 12011). All glazed panels located within 12' of a door which may be mistaken walking shall be tempered glass.

Construction Panel Underlayment for Resilient Flooring APA Sturd-I-Floor, Exterior, Construction Panel Underlayment for Ceramic Tile: APA Sturd-I-Floor, Exposure 1, Plyworinfiltration. All manufactured windows and sliding glass doors shall meet the air infiltration standards of the 1972 American National Standards Institute ASTM e283-73 with a pressure differential of 157 pounds per square foot and shall be certified and labeled.

> 7.All interior swing doors shall be Grade: Economy, Construction: Standard 1 3/8" thick solid core, flat panel, Finish: Opaque finish on hardboard; Fitting and Finish: Factory-prefit and pre-machine doors, Opaque factory finish, AWI finish System No. 9 (catalyzed lacquer) 8.Exterior Doors: Economy grade 1 3/8inch thick painted steel. 9. Rail solid wood louvered doors, size as indicated on drawings.

10. Bifolding doors: Top-supported, horizontal-sliding, wood, luau finish opaque finish. 11. Windows: Individual units set in wall construction, Commercial grade, Insulating glass, clear glass, thermal break, vinyl extrusions, Finish: Alum 12.Door Hardware: for swing, bifold, sliding, and bifold doors, comply with ANSI A156 series standards; Quality Level: Residential type, Locksets and

18b.All point loads, partial uniform loads, or combinations thereto shall be determined by the truss manufacturer and accounted for in the design of the trusses. The truss systelatch sets cylinder type, Lock cylinders: interchangeable type, Keying: master key one for each unit, Hinges and butts: Full-mortise type with nonremovable pins at exterior doors, Closers: Door control, and exit device: Low frequency, Pivots: offset or center hung, Hardware finish stain stainless steel finish on all exposed surfaces.; Auxiliary Materials: Door trim Kick plates edge trim mail drops, wall and floor stops, interior sliding door and bifold hardware, sound stripping, weatherstripping and thresholds. Manufacturer's Schalage or Owner approved equal. 1.Provide and install gypsum wallboard (GWB in accordance with the "American Standard Specifications for the Application and Finishing of Gypsum

> glued and nailed 7" o.c. for walls and 6" o.c. for ceilings. Where a fire rating is required use 5/8" Type X GWB. Tape and Spackle 3 coats, sand smooth, with metal corner beads, typical. Provide plastic casing beads at butt joints with other material permitted in the application instructions.

4.All surfaces to be finished shall be clean and free of foreign materials (dirt, grease, asphalt, rust,etc.) upon finishing. 5.Application shall be conducted in a workmanlike manner resulting in a smooth, clean surface. Application rate shall be as recommended by the 25. Where double or multiple joists are indicated on the drawings, they must be mechanically fastened to each other in such a manner so as to share the superimposed loads, Manufacturer. Application may be by brush, roller, or spray is paint is specially formulated for spray applications. 6.Exterior paint: Contractor to submit 2'x2' color samples to Owner. Consult with Owner for typical exterior finish color and Manufacturers. All interior and

7.VCT underlayment flash patch as required Contractor to insure level, smooth, and clean surface. 28. Notches in the top or bottom of joists shall not exceed 1/6th the depth of the member and shall not be located in the middle 1/3rd of the span. Where joists are notched on the located on the located in the middle 1/3rd of the span. Where joists are notched on the located in the middle 1/3rd of the span. Where joists are notched on the located in the middle 1/3rd of the span. Where joists are notched on the located in the middle 1/3rd of the span. Where joists are notched on the located in the middle 1/3rd of the span. Where joists are notched on the located in the middle 1/3rd of the span. Where joists are notched on the located in the middle 1/3rd of the span. Where joists are notched on the located in the middle 1/3rd of the span. Where joists are notched on the located in the middle 1/3rd of the span. Where joists are notched on the located in the located in the located in the middle 1/3rd of the span. Where joists are notched on the located in ends, the notch shall not exceed 1/4th the joist depth. Cantilevered portions less than 4" wide shall not be notched unless the reduced section properties and lumber ducts or 9. Provide and install exterior and interior surface finish per owner's schedule and specifications. vents. the double joists required to support bearing partitions which run parallel to the floor joists shall be spaced apart to accommodate the pipes, ducts, vents, and block at 4'-010. Unless noted otherwise, provide and install resilient flooring and wall base per owner's schedule and specifications. Install in accordance with

> colors and patterns of the approved MFGR. type 1 where exposed to prolonged water presence and using type II at all other locations.

11.Provide ceramic tile and accessories complying with Tile Council of America specifications 137.1 in colors and patterns selected by the owner from

15.Provide and install fire-retardant gypsum wallboard, type "X", class 1, 5/8" thick, at locations indicated on details and drawing 31. Joists having a depth to thickness ratio exceeding 6 to 1 based on nominal dimensions shall be supported laterally by solid blocking, diagonal bridging (wood or metal) or by 16. Provide and install SW or regular gypsum wall board, 1/2" thick at walls and ceilings unless otherwise indicated on drawings or specified. Contractor shall provide all trim accessories, finish taping and spackling in accordance with the American Standard Specifications. 17. Provide and install 2-hour rated fire walls and separation walls as indicated on drawings. All materials, unless otherwise indicated, shall be manufactured by United States Gypsum Company, and shall be installed in strict accordance with its current printed instructions.

Toilet Room Accessories Owner approved

manufacturer's printed instructions.

Section 11 thru 14 Equipment, Furnishing, Special Construction, Conveying Systems

Sections 15 and 16 Mechanical & Plumbing and Electrical .Not In Architectural Contract Owner will have sub-contractor provide design documents and specifications

1. Licensed and insured hvac contractor to provide design build proposal for new gas fired split system. Contractor to submit design and specifications to both owner and architect for review and approvals. Contractor to coordinate with architect required chases for new and relocated system(s) prior to framing phase(s). Contractor responsible for all required permits

copper. Contractor to be responsible for installation of owners finish (wet) fixtures. Contractor shall inform both owner and architect of any parts/equipment

3. Licensed and insured electrical contractor to provide design build proposal. Contractor to be responsible for providing service during and post for recessed (can) lighting including finish trim kits. Verify with owner color and style of finish kit. Contractor to provide circuit design to architect.

demolition. Contractor to provide design and specifications of all materials/devices/fixtures and components with proposal. Contractor to be responsible Contractor responsible for all required permits.

4. Electrical contractor to verify that the existing service can support new design loads as designed, provide new 200 amp service in new construction

SPECIFICATIONS

Project number Project Number Date Progress Print 01.29.15 Drawn by -		A-01
Date Progress Print 01.29.15	Checked by	Checker
Project number Project Number		Progress Print 01.29.15
	Project number	Project Number

(c COPYRIGHT 2015 Plato A. Marinakos, Jr. Architect, LLC

Date Description

PLATO

MARINAKOS, JR.

ARCHITECT, LLC

www.plato-studio.com

1628 John F Kennedy Blvd

8 Penn Center, 2nd Floor

Philadephia, PA 19103

267-295-5500 OFFICE

plato@plato-studio.com

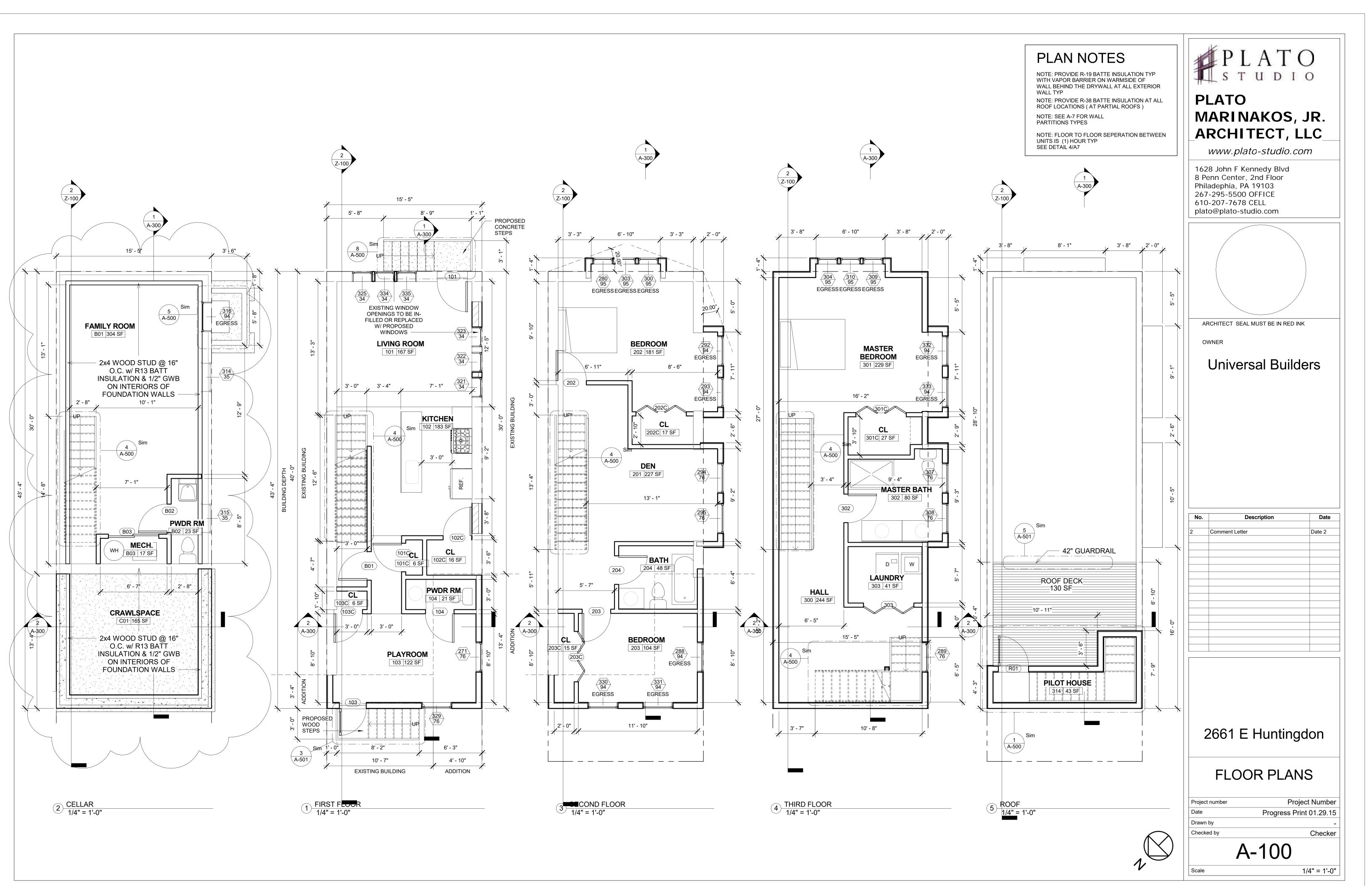
ARCHITECT SEAL MUST BE IN RED INK

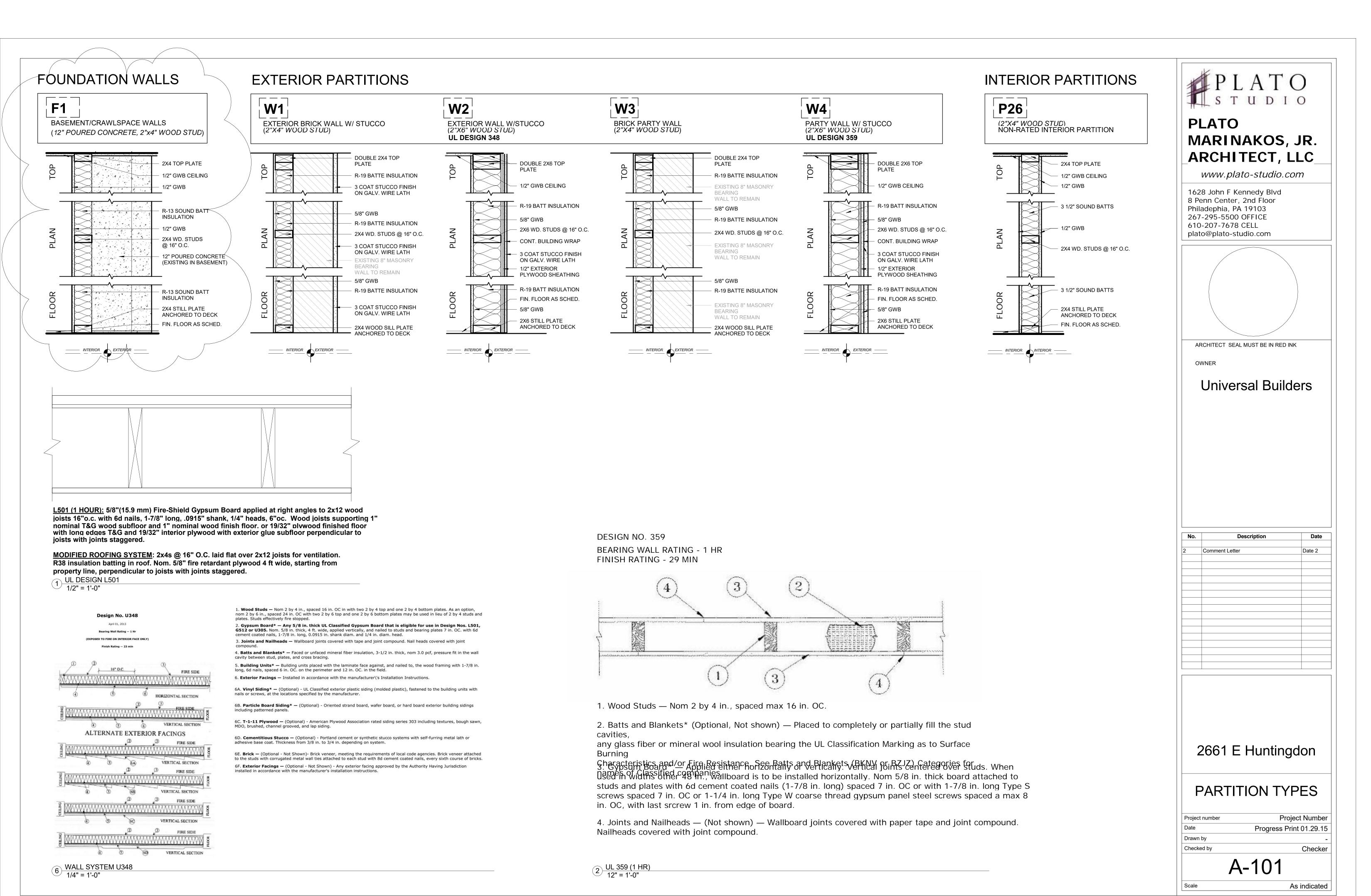
Universal Builders

OWNER

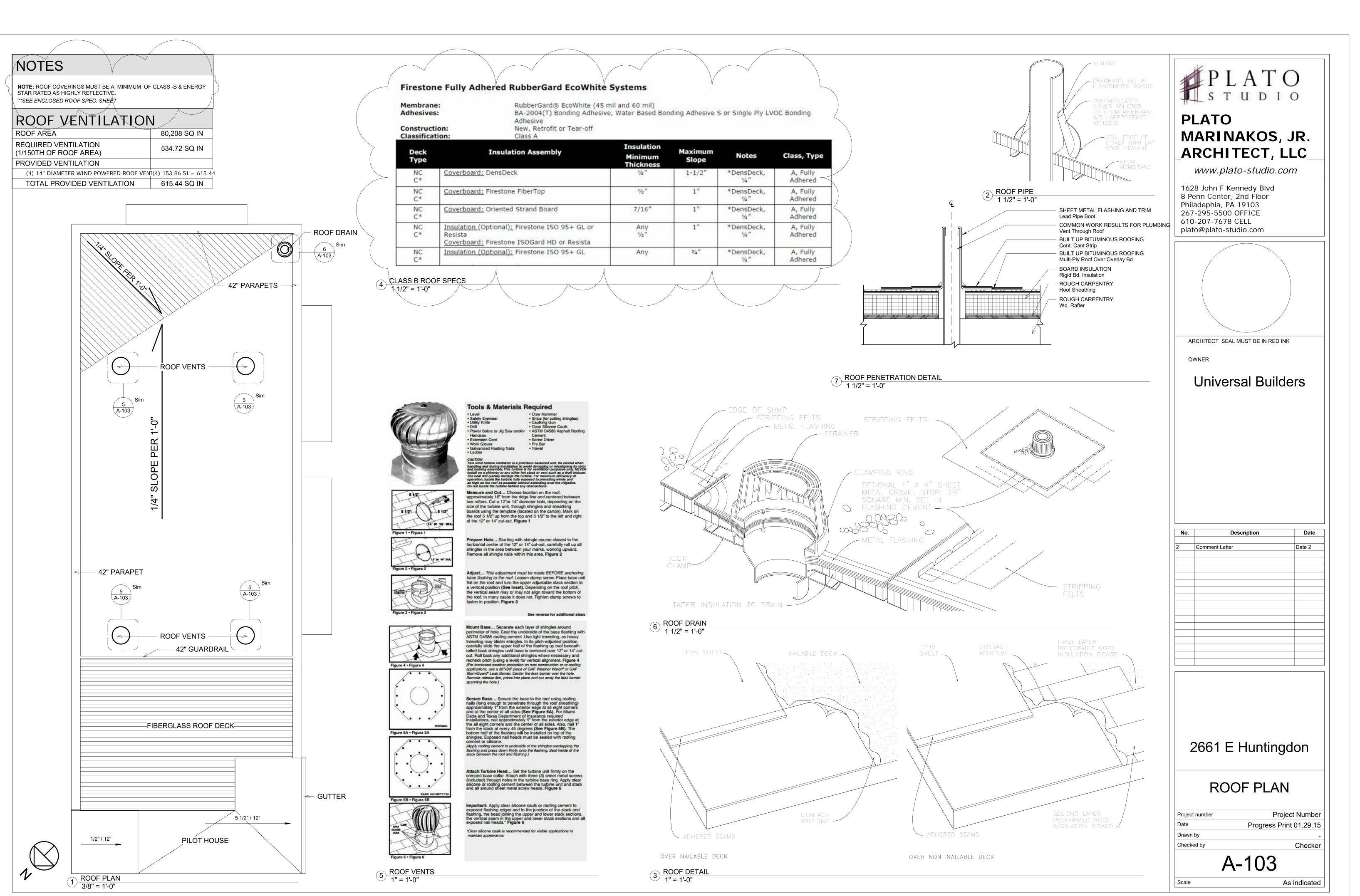
610-207-7678 CELL

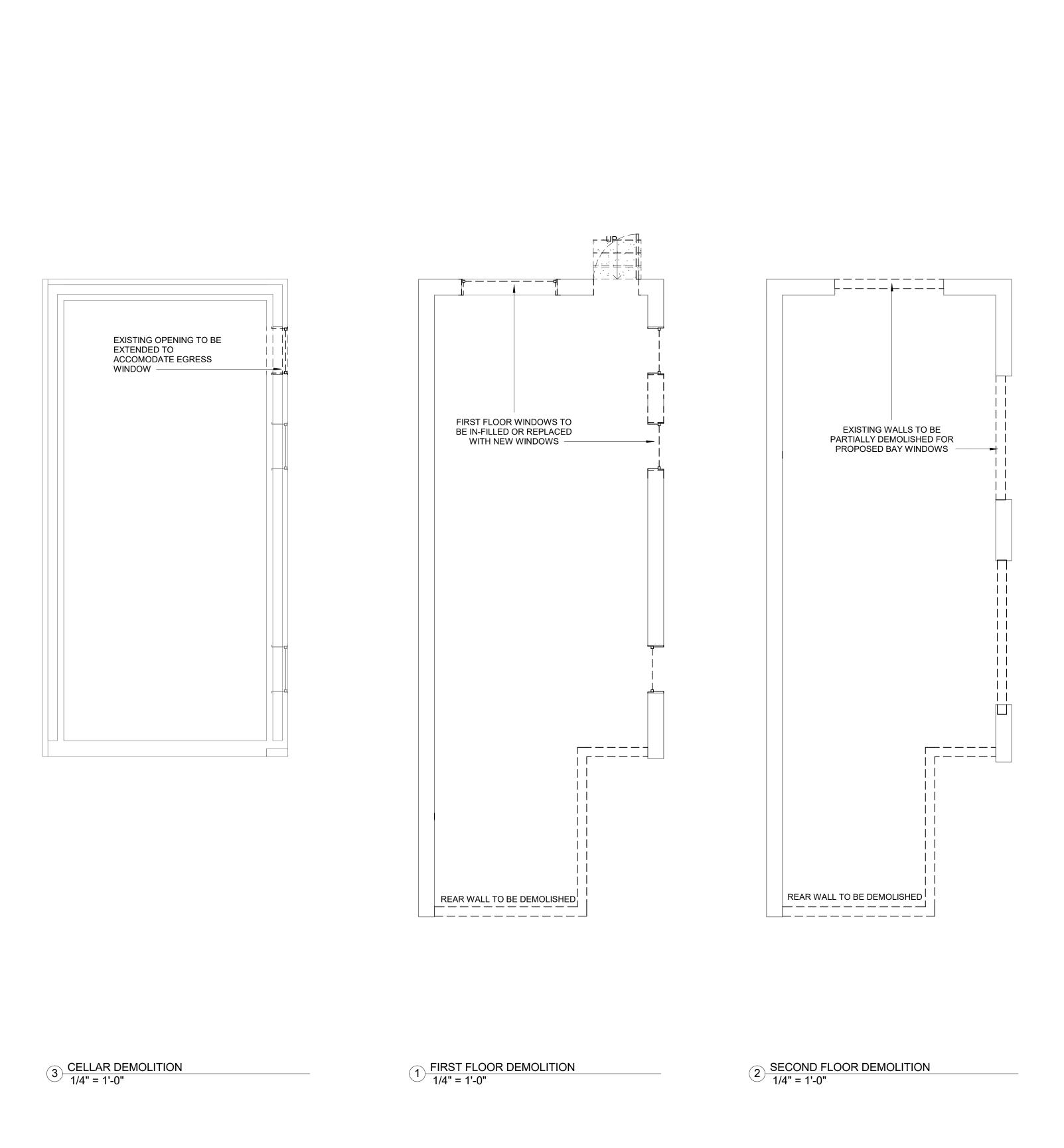
2661 E Huntingdon











DEMOLITION GENERAL NOTES

1. DEMOLITION IS INTENDED TO PREPARE THE BUILDING TO RECEIVE THE NEW WORK. THE INFORMATION PROVIDED IN NO WAY INTENDS TO MEAN THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. THE CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS OF CONSTRUCTION AND EQUIPMENT WITHIN THE PROJECT AREA, INDICATED ON DEMOLITION PLAN, INCLUDING, BUT NOT LIMITED TO FLOOR MATERIAL, BASE, WALLS, CEILINGS, DOORS, DOOR FRAMES, CASEWORK, ELECTRICAL, MECHANICAL, PLUMBING FIXTURES AND SYSTEM, AS REQUIRED TO ALLOW FOR THE EXECUTION OF NEW WORK.

2. THE CONTRACTOR SHALL REMOVE ALL ITEMS TO BE DEMOLISHED IN THEIR ENTIRETY INCLUDING ALL ASSOCIATED PIPING, WIRING, HANGERS, SUPPORTS, PROJECTIONS, BOLTS, NAILS, ETC. FROM EXISTING SURFACES, AND PATCH ALL HOLES TO MATCH ADJACENT SURFACES OR PROVIDE NEW SCHEDULED FINISHES.

3. THE CONTRACTOR SHALL BRING TO THE ARCHITECT'S ATTENTION FOR DECISION ALL STRUCTURAL INTERFERENCE THAT WOULD AFFECTED THE EXECUTION OF THE NEW WORK. NO FLOOR OR STRUCTURAL MEMBERS SHALL BE CUT WITHOUT PERMISSION OF A REGISTERED STRUCTURAL ENGINEER. ALL PROPOSED SLEEVE / CORING SHALL BE REVIEWED BY THE ARCHITECT.

4. THE CONTRACTOR SHALL REMOVE ALL EXISTING FLOOR FINISHES AND ADHESIVE DOWN TO THE CONCRETE SLAB, AND LEAVE FLOOR SMOOTH FOR NEW FINISH. THE CONTRACTOR SHALL OBSERVE MANUFACTURER'S REQUIREMENTS FOR SUB-FLOOR PREPARATION. TREATMENT OF EXISTING FLOOR FINISHES WITHIN AREAS OF DEMOLITION SHALL BE AS FOLLOWS:

A. CARPET: REMOVE ENTIRELY, INCLUDING PADDING. REMOVE REMAINING GLUE RESIDUE AND PATCH AS NECESSARY FOR NEW FLOOR FINISH.

B. VINYL: REMOVE ENTIRELY AFTER MATERIAL HAS BEEN TESTED FOR ASBESTOS. REMOVE GLUE OR GROUT RESIDUE. PATCH AS NECESSARY TO PROVIDE LEVEL SURFACE.
C. CERAMIC TILE: REMOVE ENTIRELY. PATCH AND REPAIR FLOORS WITH

A LATEX LEVELING COMPOUND TO PRODUCE A SMOOTH, LEVEL SURFACTO RECEIVE NEW FINISHES.

5. THE CONTRACTOR SHALL REMOVE EXISTING FINISHES, INCLUDING CERAMIC TILE, VINYL WALL COVERING, WALL BASE ETC. AT ALL EXISTING WALLS TO RECEIVE NEW

6. THE CONTRACTOR SHALL REMOVE ALL EXISTING CEILINGS TO ALLOW FOR PROPER INSTALLATION OF MECHANICAL, PLUMBING AND ELECTRICAL WORK.

FINISHES, UNLESS NOTED OTHERWISE, AND LEAVE WALL SURFACE SMOOTH TO RECEIVE

7. THE CONTRACTOR SHALL REMOVE ALL EXISTING CEILINGS TO ALLOW FOR PROPER

8. ALL PIPING WHICH BECOMES EXPOSED DURING THE ALTERATION WORK SHALL BE

INSTALLATION OF NEW CEILINGS.

ASSOCIATION.

REMOVED AND REROUTED TO BE CONCEALED BEHIND FINISHED SURFACES.

9. EXISTING BUILDING PLUMBING SERVICES TO BE SHUTDOWN PRIOR TO DEMOLITION WORK. SHUTDOWN(S) SHALL BE COORDINATED WITH THE OWNER AND CONDOMINIUM

10. COORDINATE WITH OWNER REGARDING THE REMOVAL AND/OR STORAGE OF EXISTING FURNITURE AND LAUNDRY APPLIANCES.

11. THE CONTRACTOR SHALL MAINTAIN ALL MEANS OF EGRESS FOR THE DURATION OF DEMOLITION / CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE FIRE RATED TEMPORARY PARTITIONS, AND COVERED WALKS TO MAINTAIN EGRESS AND SAFE PASSAGE FROM THE BUILDING TO THE PUBLIC WAY AND AS REQUIRED BY AUTHORITY HAVING JURISDICTION.

12. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION WHILE WORKING IN THE SPACES BELOW OR ABOVE THE AREA OF

13. THE ARCHITECT AND OR ENGINEER SHALL NOT BE REPSONSIBLE FOR THE SAFETY AND CONSTRUCTION AND OR DEMOLITION PROCEDURES, TECHNIQUES, OR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK SAFELY WITH THE REQUIRED CODES LOCAL STATE OR OSHA REGULATIONS

CONTRACTOR NOTES

1. THE CONTRACTOR SHALL PERFORM A SITE VISIT. IN DOING SO THE CONTRACTOR HAS AGREED THAT THEY HAVE INVESTIGATED THE EXISTING CONDITIONS TO BE RENOVATED AND COMPARE THEM TO THE WORK TO BE PERFORMED ACCORDING TO THE PROPOSED WORK.

2. INFORMATION CONTAINED ON THESE DRAWINGS WITH REGARD TO EXISTING CONDITIONS OF CONSTRUCTION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR IN EXECUTING THE NEW WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATION OF SUCH EXISTING CONDITIONS. THIS INTERPRETATION HAS BEEN TAKEN FROM DRAWINGS SUPPLIED BY OWNER AND HAS BEEN FURTHER SUPPLEMENTED WITH FIELD-MEASUREMENTS AND OBSERVATIONS. THE INFORMATION CONTAINED IN THESE DRAWINGS, WITH REGARD TO THE EXISTING CONDITIONS OF CONSTRUCTION IN NO WAY RELEASES TH CONTRACTOR FROM THE RESPONSIBILITY FOR VERIFYING COMPLETELY ALL FIELD CONDITIONS RELATING TO THE EXECUTION OF THE WORK, AS DESCRIBED IN THESE

3. NO GUARANTEE IS MADE AS TO THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR SHALL FIELD VERIFY AND DOCUMENT ALL EXISTING DIMENSIONS, ELEVATIONS, BENCHMARKS, MATERIALS, UTILITIES AND CONSTRUCTION TYPE THAT MAY AFFECT OR BE AFFECTED BY NEW WORK, AND SHALL COORDINATE SUCH FIELD VERIFICATION WITH THE CONTRACT DOCUMENTS AND THE EXECUTION OF THE WORK. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES AND/OR CONFLICTS INVOLVING EXISTING CONDITIONS AND BRING THEM TO THE ARCHITECT'S ATTENTION IMMEDIATELY.

4. THE CONTRACTOR SHALL FIELD-VERIFY THE EXISTING CONDITIONS AS THEY RELATED TO SPECIFIC PORTIONS OF THE WORK. VERIFICATION SHALL BE UNDERTAKEN IN ADVANCE TO ALLOW FOR THE TIMELY IDENTIFICATION OF EXISTING CONDITIONS THAT MAY AFFECT THE SCHEDULED INSTALLATION OF NEW WORK AS DESIGNED AND DETAILED, AND TO AVOID UNDUE AND UNREASONABLE DELAYS TO THE PROJECT SHOULD SUCH CONDITIONS BE DISCOVERED. TIMELY IDENTIFICATION OF SUCH CONDITIONS SHALL PROVIDE FOR A MINIMUM PERIOD OF TEN (10) WORKING DAYS DURING WHICH TIME THE ARCHITECT WILL EVALUATE THE CONDITIONS AND MAKE RECOMMENDATIONS FOR ACCOMMODATING NEW WORK.

5. THE CONTRACTOR SHALL FIELD-VERIFY THE LOCATION AND EXTENT OF THE LIFE SAFETY SYSTEM (INCLUDING BUT NOT LIMITED TO SPRINKLER SYSTEMS, SMOKE DETECTION SYSTEMS, EMERGENCY LIGHTING SYSTEMS) AS THEY MAY BE AFFECTED BY THE NEW WORK. THE CONTRACTOR IS RESPONSIBLE FOR ACCOMMODATING THESE SYSTEMS WHEN AFFECTED BY NEW WORK SO THAT ALL APPLICABLE CODES REQUIREMENTS ARE SATISFIED.

6. THE AREAS ADJACENT TO THE PROJECT ARE CURRENTLY OCCUPIED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY CONSTRUCTION ACTIVITIES WHICH MAY IMPEDE THEM, INCLUDING ANY ACTIVITY WHICH CREATES EXCESSIVE NOISE, AND NOTIFY ANY OCCUPANTS OF THE BUILDING OF ANY CONSTRUCTION ACTIVITIES WHICH MAY AFFECT THEM.

7. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO AREAS ADJACENT TO NEW CONSTRUCTION OR OCCUPIED AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED AND SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES.

8. THE CONTRACTOR SHALL IDENTIFY POINTS OF ACCESS TO THE BUILDING AND VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS, AND COMPONENTS INTO THE BUILDING. USE OF SUCH POINTS OF ACCESS SHALL BE APPROVED BY THE OWNER.

9. THE CONTRACTOR SHALL IDENTIFY EXISTING COMPONENTS AND ASSEMBLIES

WITHIN THE BUILDING THAT ARE CONSTRUCTED AS FIRE-RATED ASSEMBLIES; SHALL NOTE ANY DISCREPANCIES AND/OR CONFLICTS INVOLVING EXISTING CONDITIONS AND BRING THEM TO THE ARCHITECT'S ATTENTION IMMEDIATELY.

10. THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION.

11. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER INTERFACE BETWEEN EXISTING AND NEW WORK.

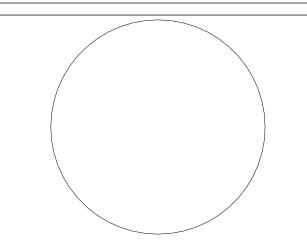
12. THE CONTRACTOR/ OWNER IS RESPONSIBLE FOR ENGINEERING SURVEY FOR EXISTING CONDITIONS AND FOR SEQUENCE OF DEMOLITION ALL SITE SAFETY AND SITE SAFETY PLAN

PLATO

PLATO MARINAKOS, JR. ARCHITECT, LLC

www.plato-studio.com

1628 John F Kennedy Blvd 8 Penn Center, 2nd Floor Philadephia, PA 19103 267-295-5500 OFFICE 610-207-7678 CELL plato@plato-studio.com



ARCHITECT SEAL MUST BE IN RED INK

OWNER

Universal Builders

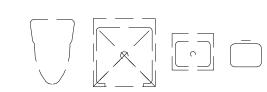
DEMOLITION LEGEND

REMOVE EXISTING WALL CONSTRUCTION, SHOWN WITH DASHED LINES. IN ITS

ENTIRETY FROM FLOOR TO STRUCTURE ABOVE INCLUDING DOORS, DOOR FRAMES, WALL BASE, ASSOCIATED ELEC. / MECH. WORK, ETC. PREPARE AREA FOR

REMOVE EXISTING CASEWORK, COUNTERS, SHELVING, EQUIPMENT AND

SUPPORTS, SHOWN WITH DASHED LINES.



REMOVE EXISTING PLUMBING FIXTURES, SHOWN WITH DASHED LINES. EXISTING PIPING
SHALL BE CAPPED AS INDICATED ON THE PLUMBING DRAWINGS. ANY FLOOR
PENETRATIONS DUE TO THE REMOVAL OF PIPING ARE TO BE FILLED AS NOTED IN

CUTTING AND PATCHING GENERAL NOTES.

CUTTING AND PATCHING GENERAL NOTES

1. WHERE EXISTING CONSTRUCTION TO REMAIN IS DAMAGE BY THE REMOVAL OF EXISTING CONSTRUCTION OR ANY OTHER WORK PREFORMED UNDER THIS CONTRAC THE CONTRACTOR SHALL PATCH, REPAIRED AND ALIGN ALL EXISTING CONSTRUCTION SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR AND PREPARE EXISTING SURFACE TO RECEIVE NEW SCHEDULED FINISHES.

2. WHERE EXISTING EXTERIOR WALL OR INTERIOR PARTITIONS ARE DAMAGED IN AREAS OF SELECTIVE DEMOLITION BY THE REMOVAL OF EXISTING CONSTRUCTION OF ANY OTHER DEMOLITION ACTION, THE CONTRACTOR SHALL REPAIR EXISTING WALL SURFACES TO MATCH EXISTING OR PRODUCE A SMOOTH SURFACE TO RECEIVE NEW FINISHES.

3. WHERE LEVEL CHANGES, HOLES, DEPRESSIONS, OR FORMED TRENCHES ARE UNCOVERED IN EXISTING CONCRETE SLAB BY THE REMOVAL OF EXISTING WALLS / EXISTING FLOORING OR ANY OTHER DEMOLITION ACTION, THE CONTRACTOR SHALL PATCH AND REPAIR EXISTING CONCRETE SURFACES WITH A LATEX OR GYPCRETE LEVELING COMPOUND UNLESS SPECIFIED OTHERWISE TO PRODUCE A SMOOTH LEVEL SURFACE TO RECEIVE NEW FINISHES.

4. WHERE PIPES, CONDUITS, DUCTWORK, ETC. ARE TO BE REMOVED FROM EXISTING WALL / PARTITION TO REMAIN, THE CONTRACTOR SHALL INFILL THE OPENING / PENETRATION WITH MATERIALS THAT MATCH THE EXISTING CONSTRUCTION, OR AN U APPROVED MATERIAL TO MAINTAIN THE EXISTING FIRE RATED ASSEMBLY.

IN FINISH CEILING HEIGHT. THE CONTRACTOR SHALL REPAIR EXISTING WALL SURFACES TO MATCH EXISTING OR PRODUCE A SMOOTH SURFACE TO RECEIVE NEW FINISHES.

5. WHERE WALL AREAS THAT ARE LEFT EXPOSED AS A RESULT OF AN ADDJUSTMENT

6. WHERE PIPES, CONDUITS, DUCTWORK, ETC. ARE TO BE REMOVED FROM ANY FLOOR OR ROOF ASSEMBLY TO REMAIN, THE CONTRACTOR SHALL INFILL THE OPENING WITH MATERIALS TO MAINTAIN DESIGNATED FIRE OR SMOKE RATING.

1 0.	Description	Date
 •		

2661 E Huntingdon

DEMO PLANS

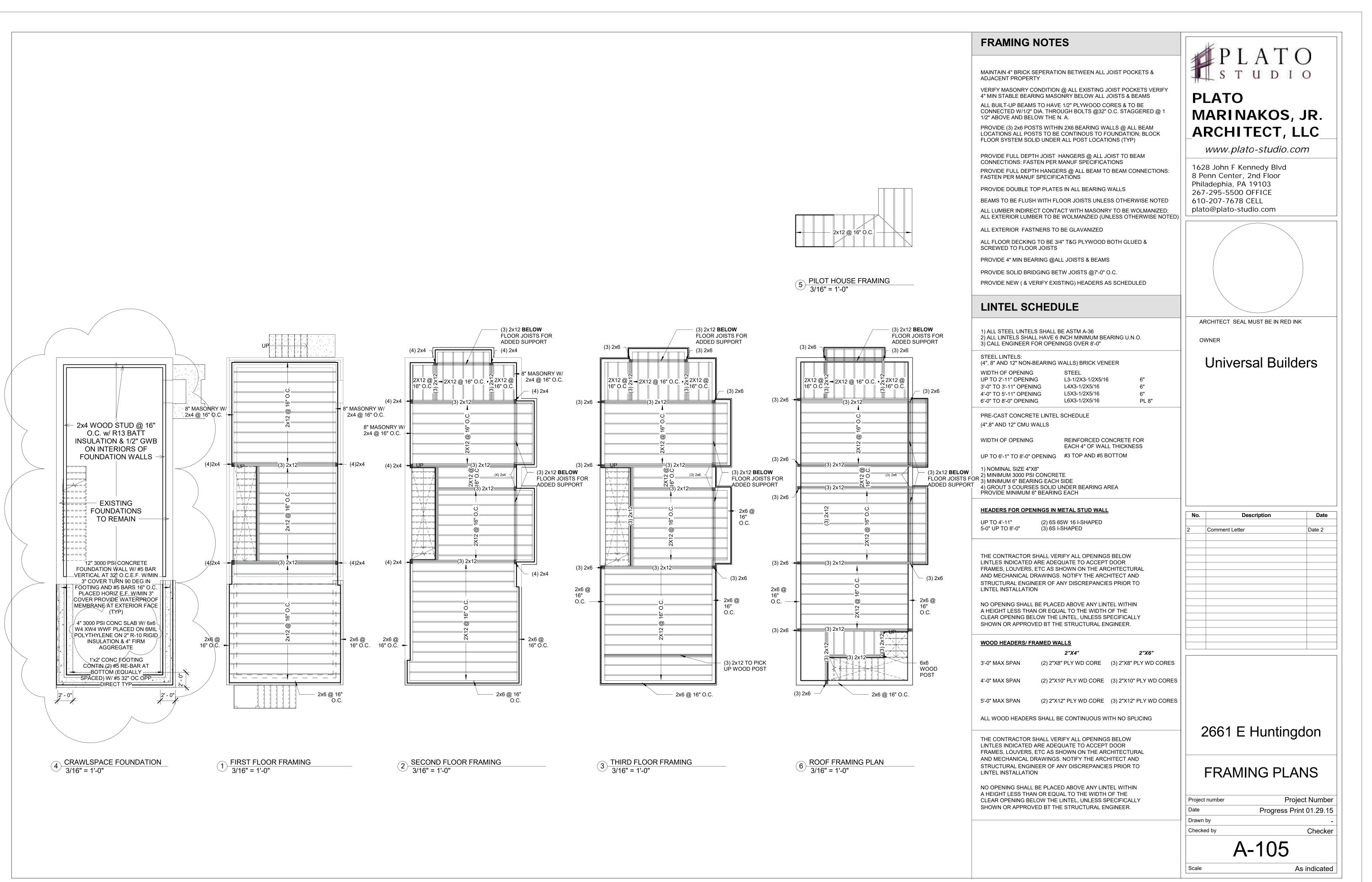
Project number

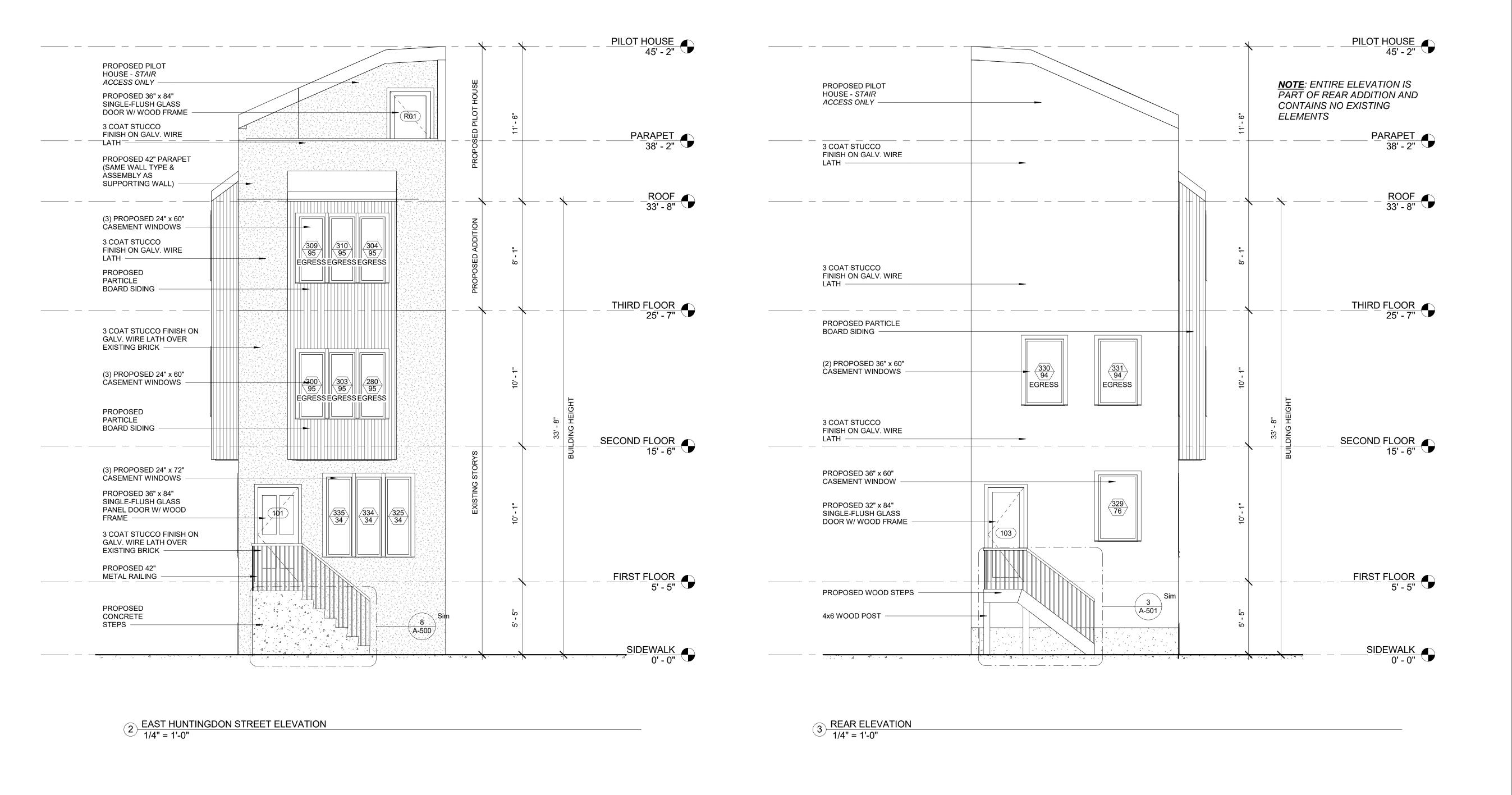
Date
Progress Print 01.29.15

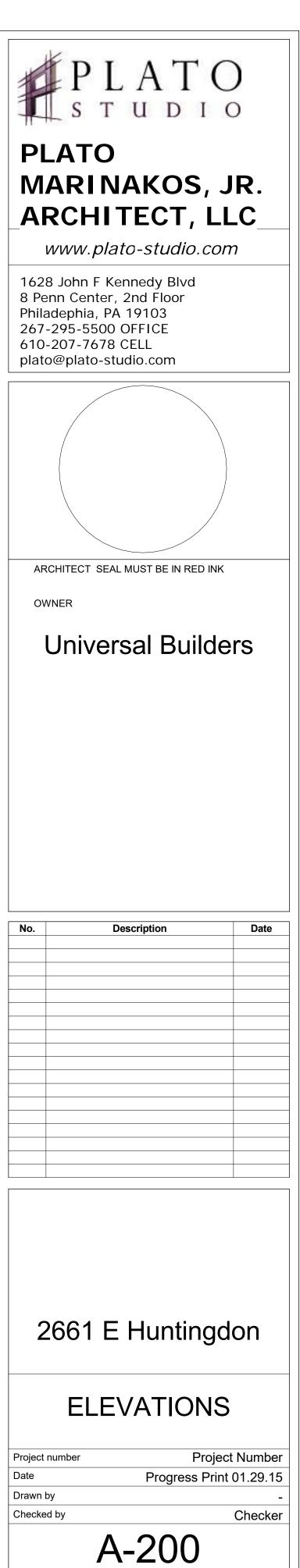
Drawn by
Author
Checked by
Checker

A-104

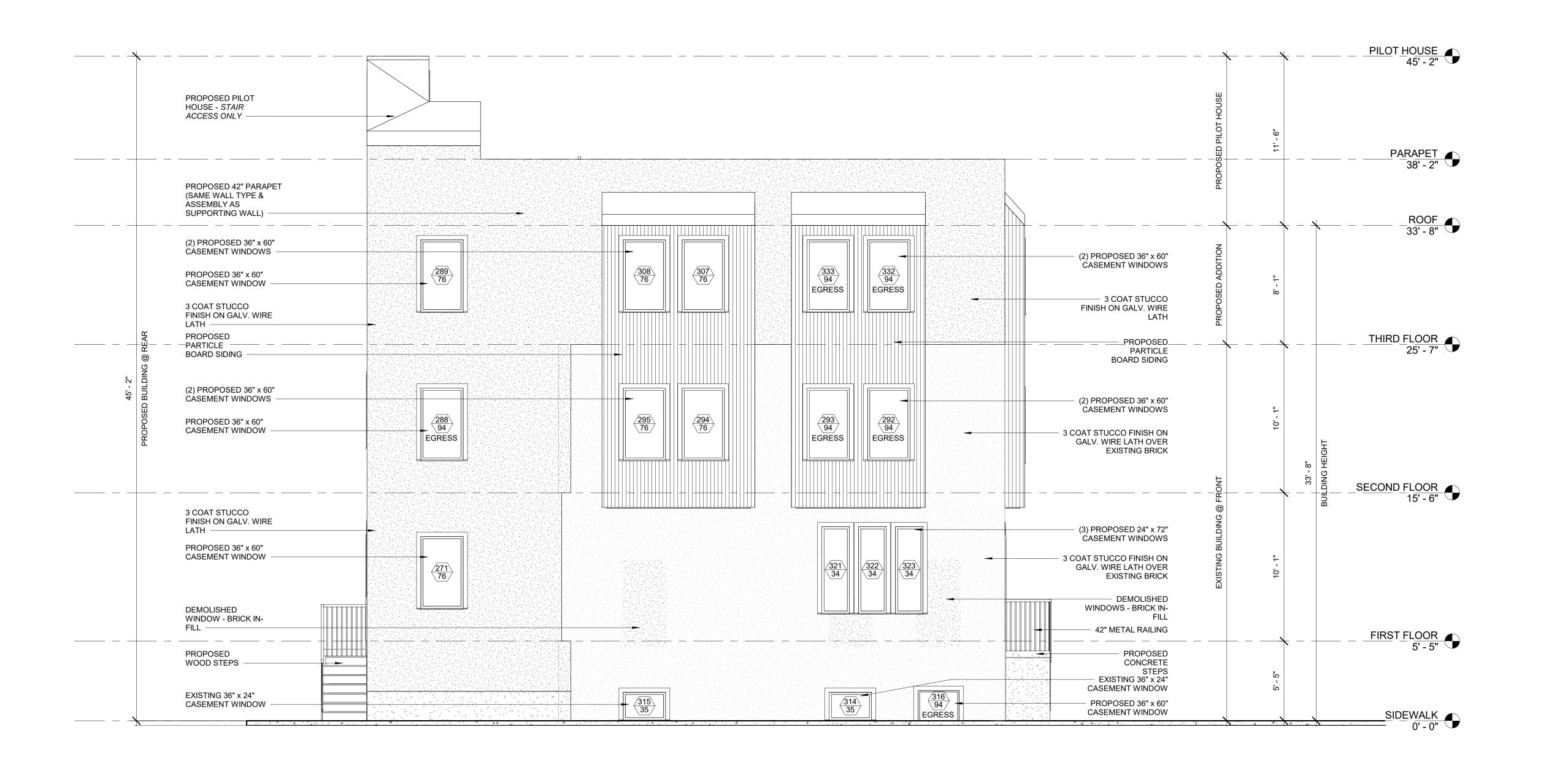
As indicated



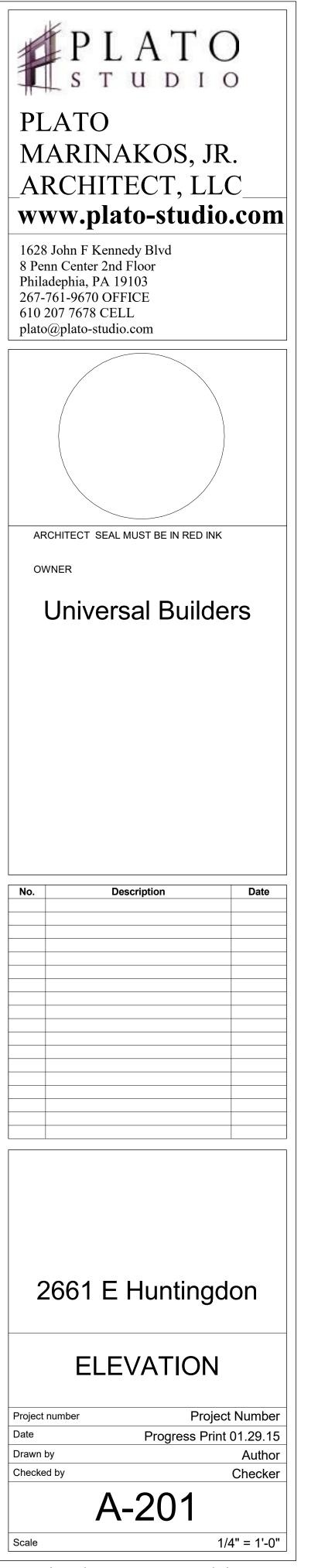


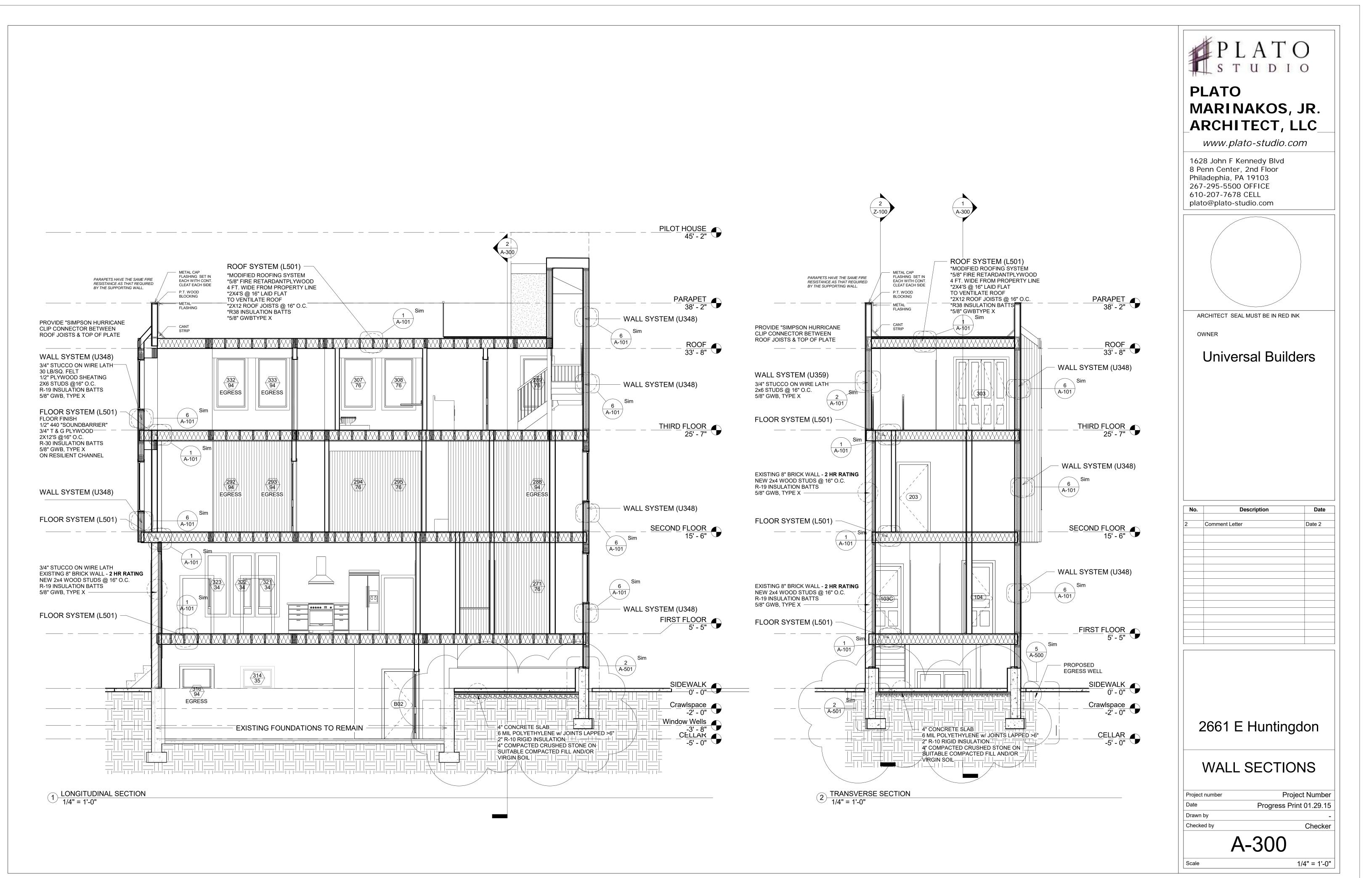


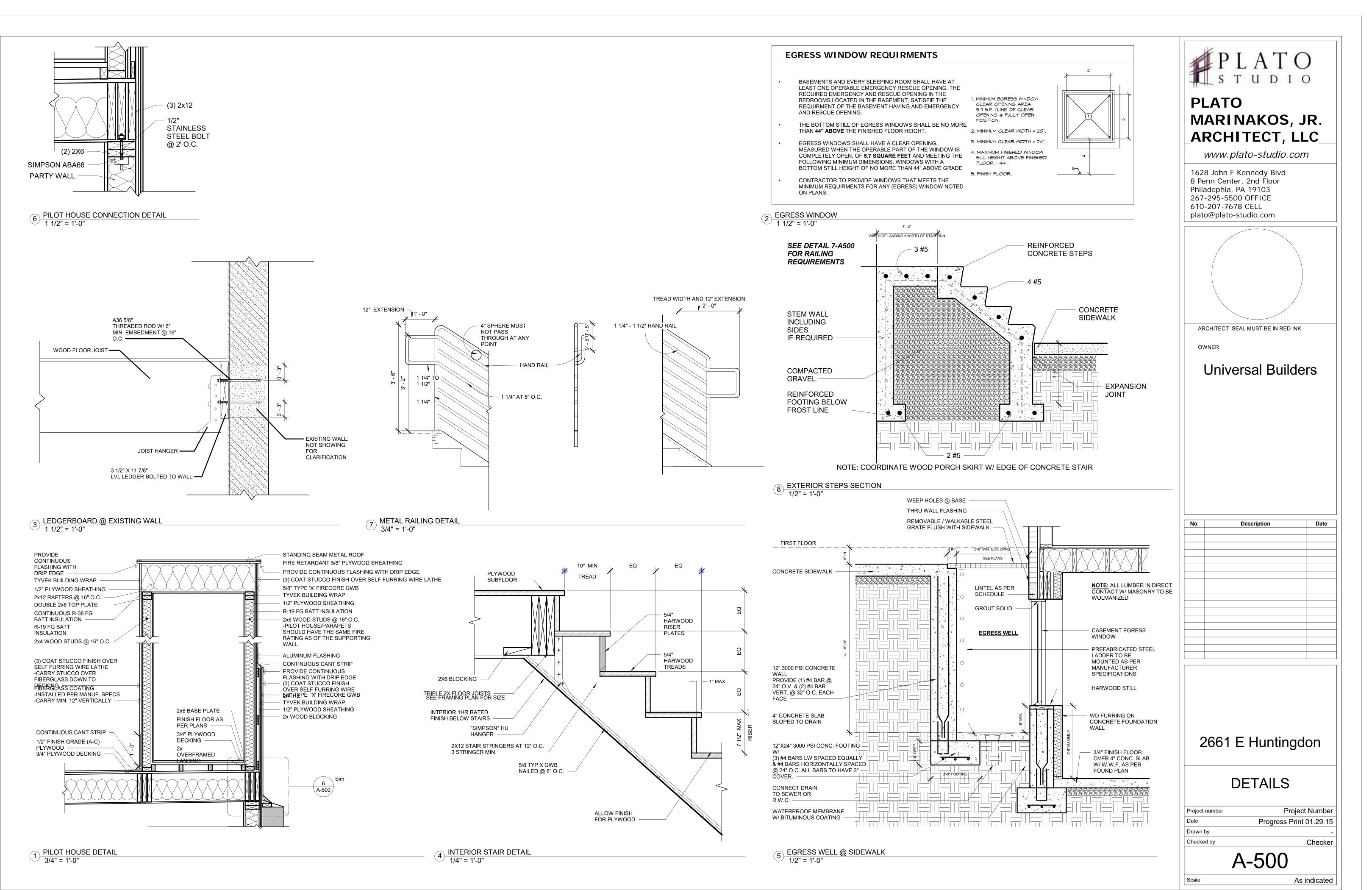
1/4" = 1'-0"

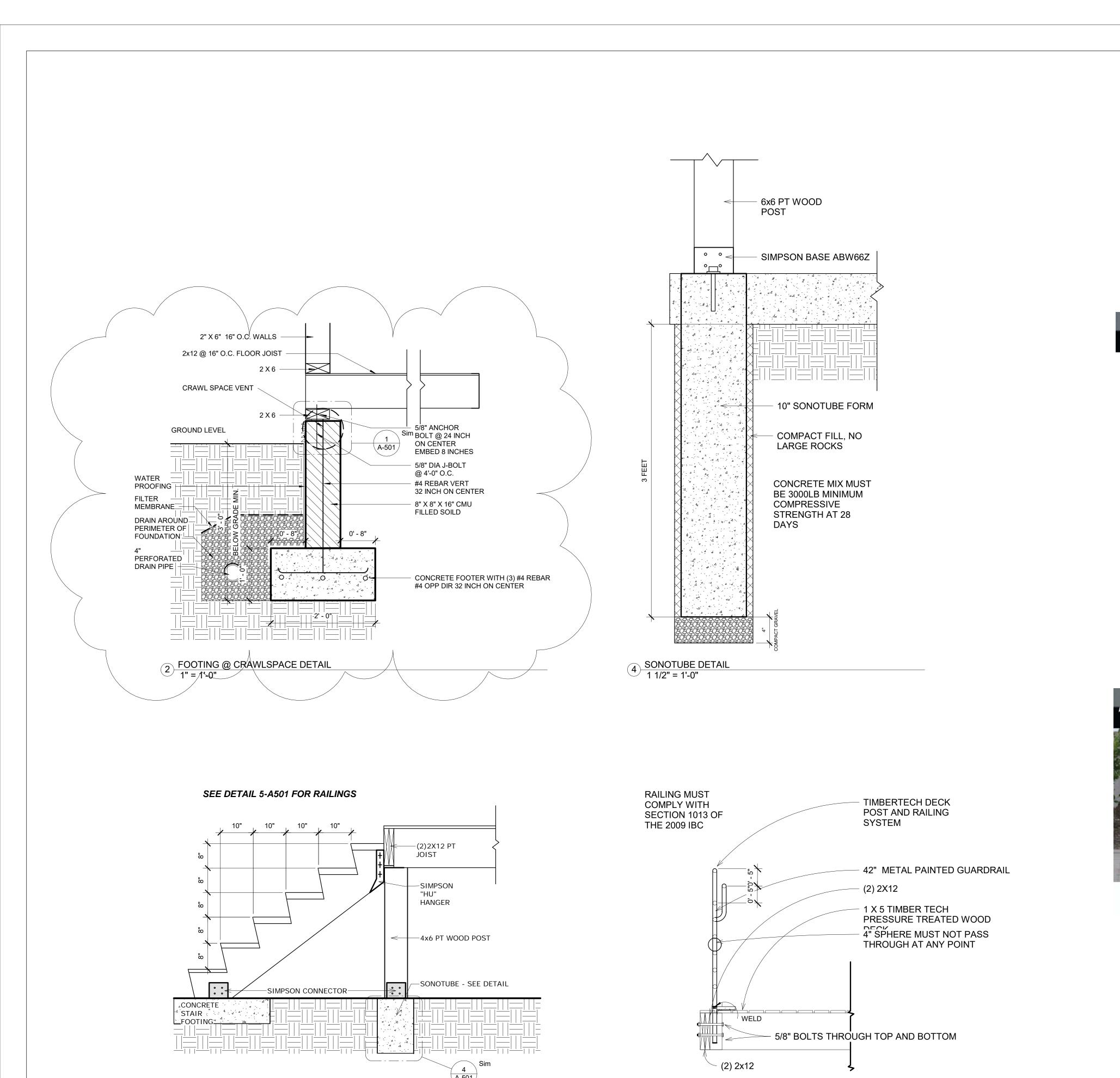


1 EGDEMONT STREET ELEVATION 1/4" = 1'-0"





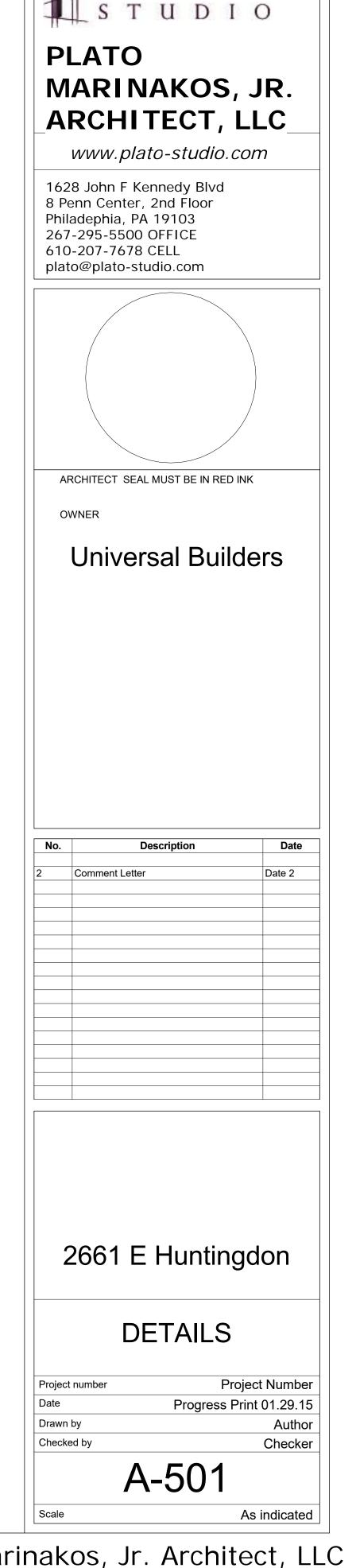




5 GUARDRAIL @ WOOD DECK 3/4" = 1'-0"

WOOD STAIRS @ REAR
3/4" = 1'-0"

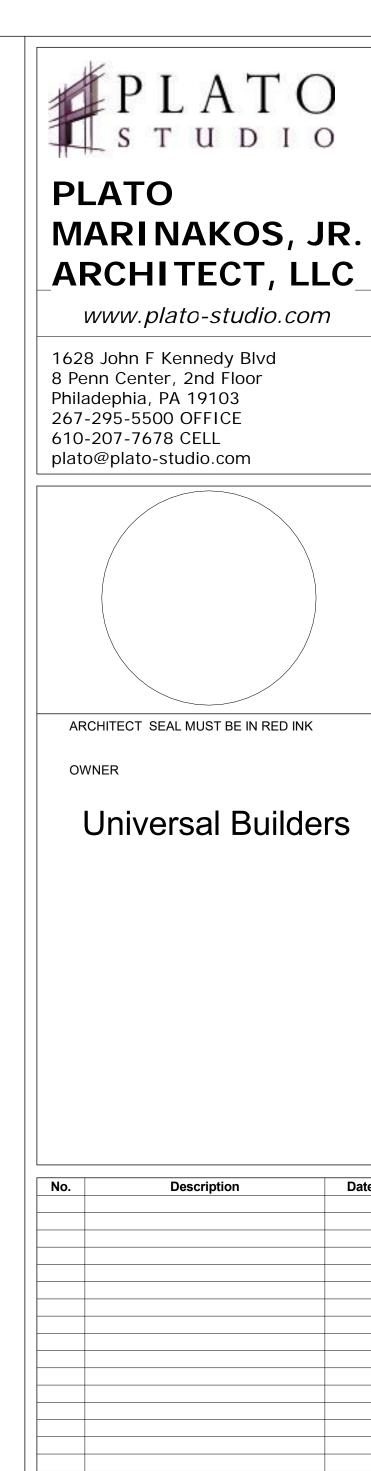




	Door S	Schedule
Door Number	Door Size	Finish Comments
CELLAR		
B02	34" x 80"	
B03	60" x 80"	
FIRST FLO		
101	36" x 84"	
101C	34" x 84"	
B01	34" x 84"	
104	34" x 84"	
104 101C	34" x 80"	
101C	34" x 80"	
1030	32" x 84"	
SECOND F		
202C	60" x 84"	
202	36" x 84"	
203C	60" x 84"	
204	34" x 80"	
203	34" x 80"	
THIRD FLO		
302	34" x 80"	
303	60" x 84"	
301C	60" x 84"	
ROOF		
R01	36" x 84"	

		WI	NDOW SC	HEDULE		
		DESCRIPTIO	UNI	T DIMEN		
NUMBER	TYPE	N	HEIGHT	WIDTH	SILL HGT.	REMARKS
CELLAR						
314	35		2' - 0"	3' - 0"	5' - 0"	
315	35		2' - 0"	3' - 0"	5' - 0"	
316	94	EGRESS	5' - 0"	3' - 0"	2' - 2"	
FIRST FLOOR						
271	76		5' - 0"	3' - 0"	2' - 2"	
321	34		6' - 0"	2' - 0"	1' - 10"	
322	34		6' - 0"	2' - 0"	1' - 10"	
323	34		6' - 0"	2' - 0"	1' - 10"	
325	34		6' - 0"	2' - 0"	1' - 10"	
329	76		5' - 0"	3' - 0"	3' - 0"	
334	34		6' - 0"	2' - 0"	1' - 10"	
335	34		6' - 0"	2' - 0"	1' - 10"	
SECOND FLOOR						
280	95	EGRESS	5' - 0"	2' - 0"	2' - 0"	
288	94	EGRESS	5' - 0"	3' - 0"	2' - 2"	
292	94	EGRESS	5' - 0"	3' - 0"	2' - 2"	
293	94	EGRESS	5' - 0"	3' - 0"	2' - 2"	
294	76		5' - 0"	3' - 0"	2' - 2"	
295	76		5' - 0"	3' - 0"	2' - 2"	
300	95	EGRESS	5' - 0"	2' - 0"	2' - 0"	
303	95	EGRESS	5' - 0"	2' - 0"	2' - 0"	
330	94	EGRESS	5' - 0"	3' - 0"	3' - 0"	
331	94	EGRESS	5' - 0"	3' - 0"	3' - 0"	
THIRD FLOOR						
289	76		5' - 0"	3' - 0"	2' - 2"	
304	95	EGRESS	5' - 0"	2' - 0"	2' - 0"	
307	76		5' - 0"	3' - 0"	2' - 2"	
308	76		5' - 0"	3' - 0"	2' - 2"	
309	95	EGRESS	5' - 0"	2' - 0"	2' - 0"	
310	95	EGRESS	5' - 0"	2' - 0"	2' - 0"	
332	94	EGRESS	5' - 0"	3' - 0"	2' - 2"	
333	94	EGRESS	5' - 0"	3' - 0"	2' - 2"	

			KOOM F	FINISH SCHE	JULE		
	ROOM	FLOOR	BASE	WALLS	CEILING		
NUMBER	NAME	FINISH	FINISH	FINISH	FINISH	AREA	REMARKS
CELLAR		1		-		1	
B01	FAMILY ROOM	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	304 SF	
B02	PWDR RM	CERAMIC TILE	CERAMIC	GYPSUM - PAINT	GYPSUM - PAINT	23 SF	
B03	MECH.	EXPOSED	NONE	EXPOSED	EXPOSED	17 SF	
Crawlspace							
C01	CRAWLSPACE	EXPOSED	NONE	EXPOSED	EXPOSED	165 SF	
-							
FIRST FLOOR			1		T		
101	LIVING ROOM	HARDWOOD		GYPSUM - PAINT	GYPSUM - PAINT	167 SF	
101C	CL	HARDWOOD		GYPSUM - PAINT	GYPSUM - PAINT	6 SF	
102	KITCHEN	HARDWOOD		GYPSUM - PAINT	GYPSUM - PAINT	183 SF	
102C	CL	HARDWOOD		GYPSUM - PAINT	GYPSUM - PAINT	16 SF	
103	PLAYROOM	CARPET	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	122 SF	
103C	CL	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	6 SF	
104	PWDR RM	CERAMIC TILE	CERAMIC	GYPSUM - PAINT	GYPSUM - PAINT	21 SF	
SECOND FLOOR 201	DEN	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	227 SF	
202	BEDROOM	HARDWOOD		GYPSUM - PAINT	GYPSUM - PAINT	181 SF	
202C	CL	HARDWOOD		GYPSUM - PAINT	GYPSUM - PAINT	17 SF	
203	BEDROOM	HARDWOOD		GYPSUM - PAINT	GYPSUM - PAINT	104 SF	
203C	CL	HARDWOOD		GYPSUM - PAINT	GYPSUM - PAINT	15 SF	
204	BATH	CERAMIC TILE	CERAMIC	GYPSUM - PAINT	GYPSUM - PAINT	48 SF	
HIRD FLOOR		<u>'</u>	1	<u>'</u>	,	1	
300	HALL	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	244 SF	
301	MASTER BEDROOM	HARDWOOD		GYPSUM - PAINT	GYPSUM - PAINT	229 SF	
301C	CL	HARDWOOD		GYPSUM - PAINT	GYPSUM - PAINT	27 SF	
	MASTER BATH						
302		CERAMIC TILE	CERAMIC	GYPSUM - PAINT	GYPSUM - PAINT	80 SF	
303	LAUNDRY	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	41 SF	
ROOF							



Date

2661 E Huntingdon

SCHEDULES &

DIAGRAMS

A-600

Project number

Drawn by

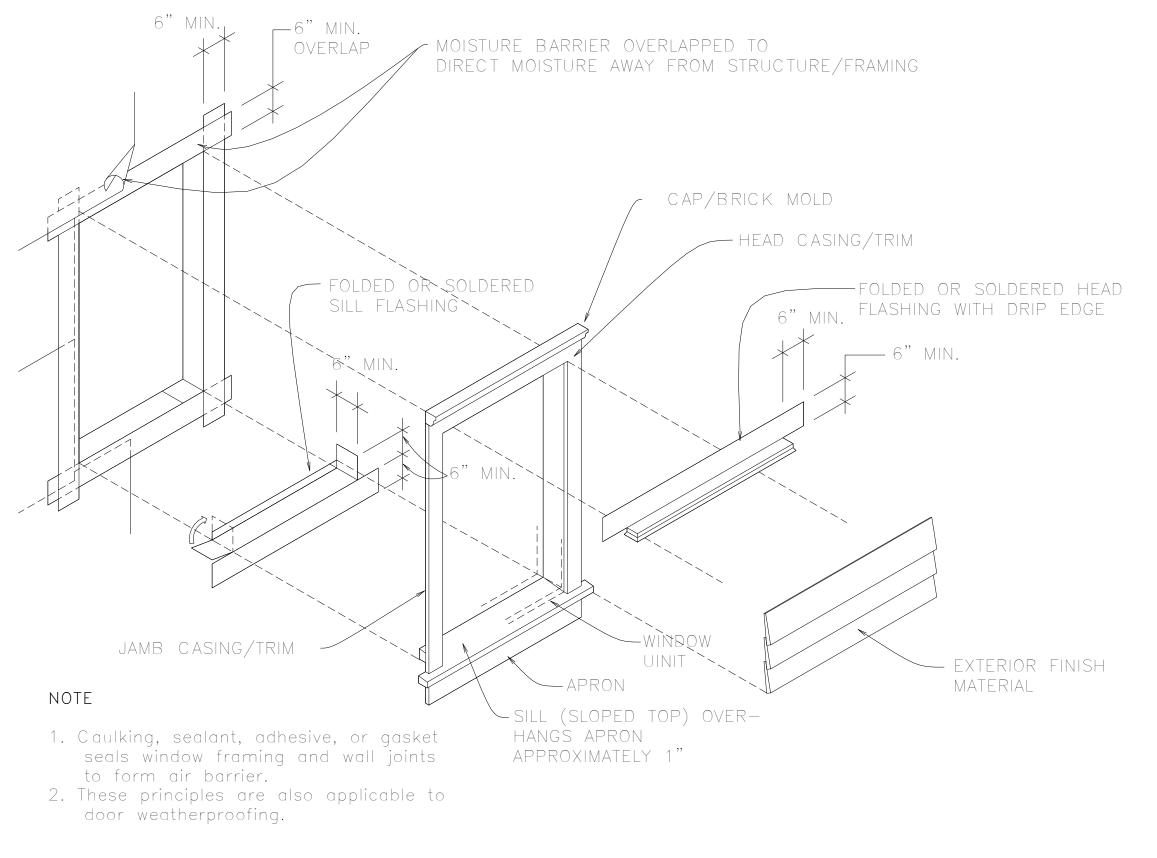
Checked by

Project Number

Checker

1/2" = 1'-0"

Progress Print 01.29.15



1) DOOR_WNDOW_FLASHING 1/2" = 1'-0"

