

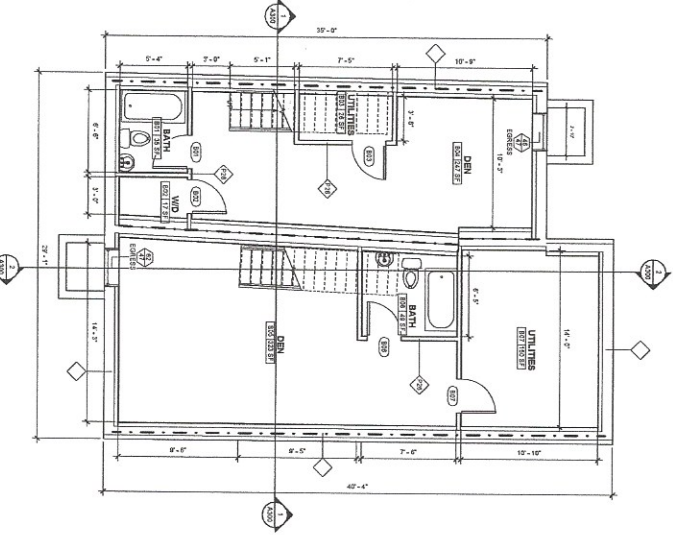




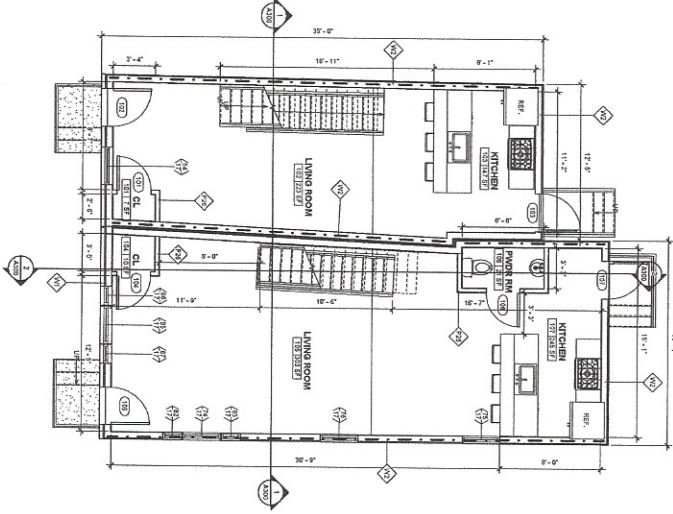
**PLAN NOTES**

1. ROOMS INDICATED AS HAVING INSULATION TO BE INSTALLED SHALL HAVE INSULATION INSTALLED TO THE FINISH SURFACE OF WALLS BEHIND THE FINISH WALL, AS WELL AS THE EXTERIOR WALLS TO THE EXTERIOR. SEE ALSO FOR WALL INSULATION TYPES.

2. SEE ALSO FOR FLOOR SPACERS BETWEEN WALLS (UNLESS TYPE IS SPECIFIED).

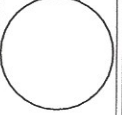


11/20/16 **BASMENT PLAN**  
SCALE: 1/8"=1'-0"



11/20/16 **FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"

**PLATO STUDIO**  
**PLATO**  
**MAZURKOS, JR.**  
**ARCHITECT, LLC**  
 www.plato-studio.com  
 1424 JFK BLVD  
 Philadelphia, PA 19103  
 267-455-2322 OFFICE  
 plato@plato-studio.com



OWNER  
**UNIVERSAL BUILDING & CO.**



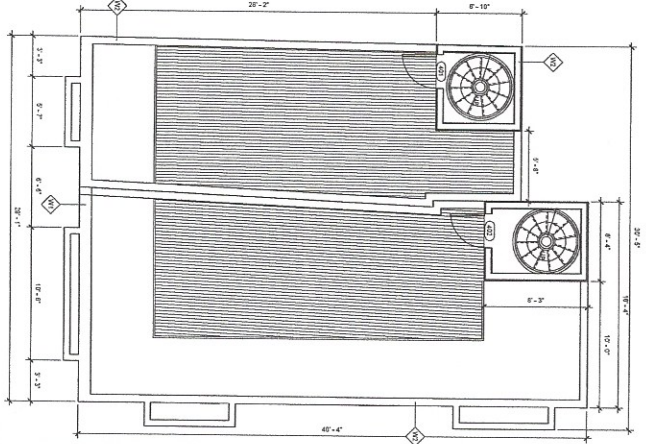
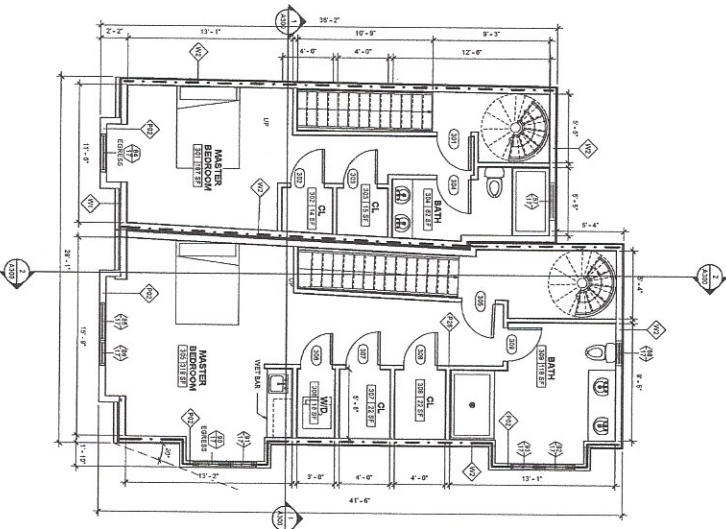
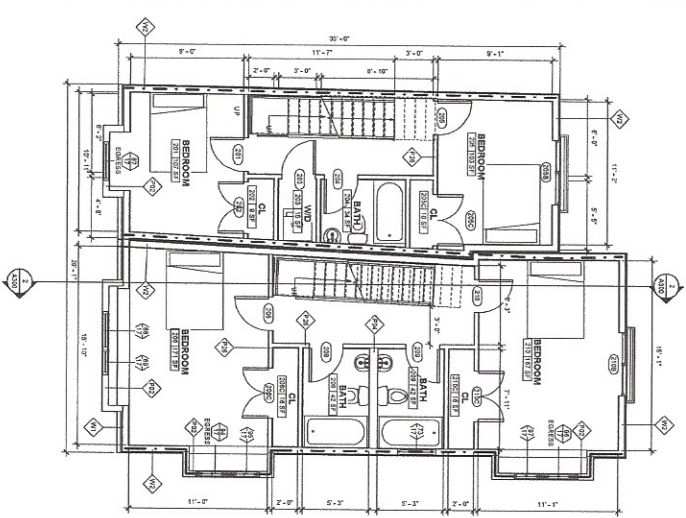
DESIGNED BY  
**PLATO STUDIO**  
 CLIENT'S REQUIRED TO  
 PROVIDE APPROVAL FROM CLIENT AND CITY/STATE  
 ENGINEER/ARCHITECT/GENERAL CONTRACTOR

2579-2391 EAST HUNTINGDON STREET <b>FLOOR PLANS</b>	
PROJECT NUMBER	A100
DATE	11/20/16
DRAWN BY	AL/MS
CHECKED BY	CM/MS
SCALE	1/8" = 1'-0"

**PLAN NOTES**

NOTE: PROVIDER HAS NOT INDICATED THE WALL THICKNESS FOR  
 FINISHED OR WALL FINISHES. THE ORIGINAL AT ALL INTERIOR WALL TOP  
 NOTE: FINISHES ARE TO BE DETERMINED BY ALL  
 NOTE: SEE ALSO FOR WALL FINISHES TYPES  
 NOTE: FLOOR TO FLOOR SEPARATION BETWEEN UNITS IS 6" MIN. TYP.  
 SEE PLAN

PS - Plan Notes  
 SCALE: 1/8" = 1'-0"



**PLATO**  
**STUDIO**  
**PLATO**  
**MANNAKOS, JR.**  
**ARCHITECT, LLC**

[www.plato-studio.com](http://www.plato-studio.com)

1028 FIVE BND  
 Philadelphia, PA 19103  
 215-626-2922 OFFICE  
 215-626-2922 CELL  
 plato@plato-studio.com

REGISTERED REAL ESTATE BROKER IN PA

**UNIVERSAL BUILDING & CO.**

811  
 Call Before You Dig

DESIGNED BY PLATO & MANNAKOS, JR. ARCHITECT, LLC  
 PERMITTED BY PHILADELPHIA DEPARTMENT OF CITY PLANNING AND DEVELOPMENT  
 CLIENTS ARE REQUESTED TO CONTACT ARCHITECT FOR ANY CHANGES TO THE ORIGINAL PLAN  
 CONTRACT NUMBER: 15-000000-001

NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

CLIENT REPRESENTATIVE: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

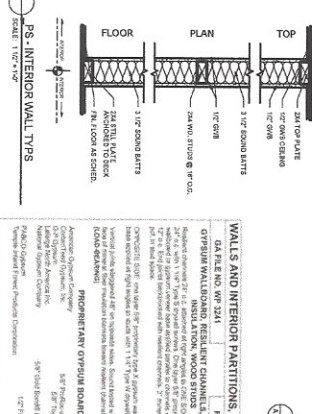
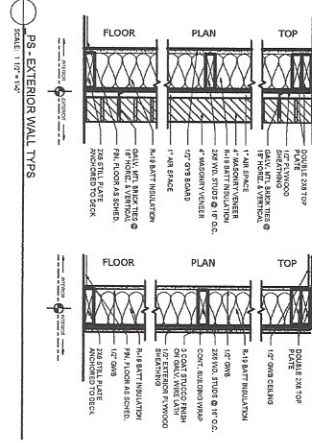
SCALE: \_\_\_\_\_

2579-2861 EAST  
 HUNTINGDON STREET

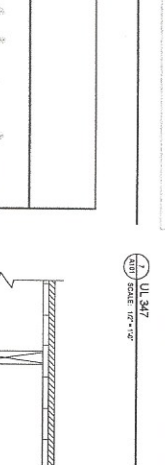
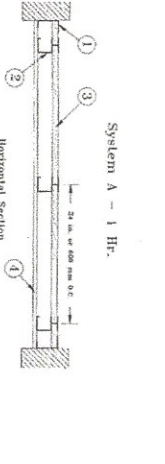
**FLOOR PLANS**

PROJECT NUMBER: \_\_\_\_\_  
 SHEET NO.: \_\_\_\_\_  
 TOTAL SHEETS: \_\_\_\_\_  
**A100.1**

# PARTITION TYPES



1 Hour FM-FC-181  
 50 5/8" SFC  
 1 HOUR  
 2 HOUR



**DESIGN NO. U348**  
 Building Detail Building - 1HR  
 Drawing No. 17-01/2/3/4/5/6/7  
 Lead Architect: [Name]  
 Lead Designer: [Name]

**UL18**  
 SCALE: 1/2" = 1'-0"

**UL31**  
 SCALE: 1/2" = 1'-0"

**UL348 - 1HR**  
 SCALE: 1/2" = 1'-0"

**UL501 - 1HR**  
 SCALE: 3/4" = 1'-0"

**UL599 - 1HR**  
 SCALE: 1/2" = 1'-0"

**UL18**  
 SCALE: 1/2" = 1'-0"

**UL31**  
 SCALE: 1/2" = 1'-0"

**UL501 - 1HR**  
 SCALE: 3/4" = 1'-0"

**UL599 - 1HR**  
 SCALE: 1/2" = 1'-0"

**DESIGN NO. 393**  
 EXTERIOR WALL TYPES - 1HR  
 FINISH MATING - 21HR

**UL501 - 1HR**  
 SCALE: 3/4" = 1'-0"

**UL599 - 1HR**  
 SCALE: 1/2" = 1'-0"

**UL18**  
 SCALE: 1/2" = 1'-0"

**UL31**  
 SCALE: 1/2" = 1'-0"

**UL501 - 1HR**  
 SCALE: 3/4" = 1'-0"

**UL599 - 1HR**  
 SCALE: 1/2" = 1'-0"

**UL599 - 1HR**  
 SCALE: 1/2" = 1'-0"

**UL18**  
 SCALE: 1/2" = 1'-0"

**UL31**  
 SCALE: 1/2" = 1'-0"

**UL501 - 1HR**  
 SCALE: 3/4" = 1'-0"

**UL599 - 1HR**  
 SCALE: 1/2" = 1'-0"

**UL18**  
 SCALE: 1/2" = 1'-0"

**UL31**  
 SCALE: 1/2" = 1'-0"

**UL501 - 1HR**  
 SCALE: 3/4" = 1'-0"

**UL599 - 1HR**  
 SCALE: 1/2" = 1'-0"

**UL18**  
 SCALE: 1/2" = 1'-0"

**UL31**  
 SCALE: 1/2" = 1'-0"

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 SCALE: 3/4" = 1'-0"

**UL599 - 1HR**  
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**UL599 - 1HR**  
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 SCALE: 1/2" = 1'-0"

**UL31**  
 SCALE: 1/2" = 1'-0"

**UL501 - 1HR**  
 SCALE: 3/4" = 1'-0"

**UL599 - 1HR**  
 SCALE: 1/2" = 1'-0"

**UL599 - 1HR**  
 SCALE: 1/2" = 1'-0"

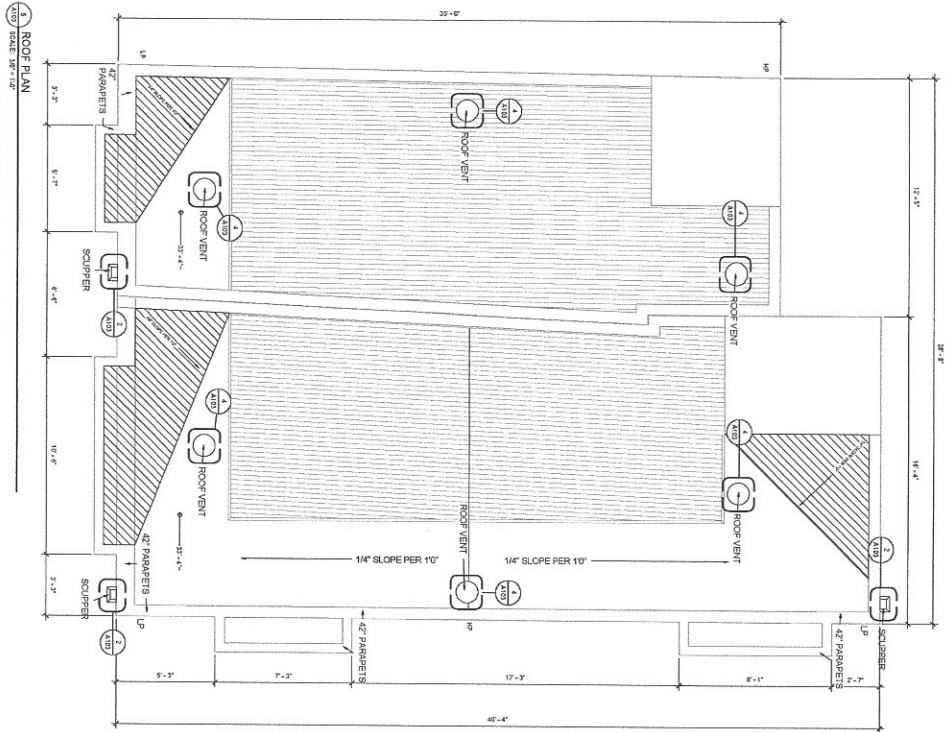


**NOTES**

NOTE: ROOF COVERING MATERIAL A MINIMUM OF CLASS 4 ENERGY RATED INSULATED ROOF DECK SHALL BE USED.

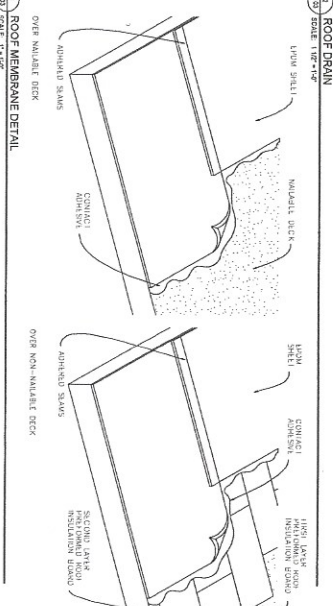
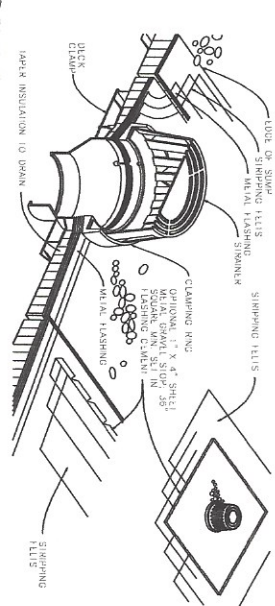
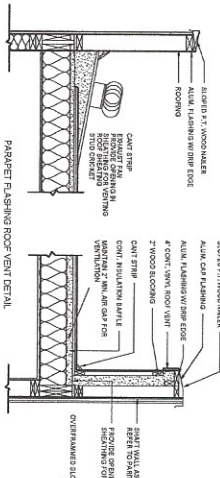
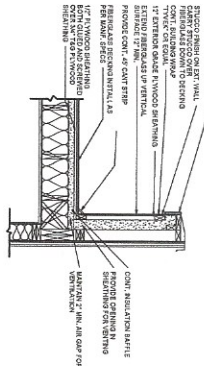
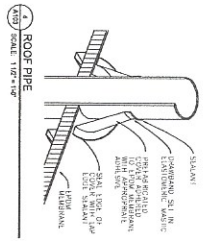
**ROOF VENTILATION**

ROOF AREA	139,400 SQ IN
REQUIRED VENTILATION (FORMULA OF ROOF AREA)	489 SQ IN
ROOF AREA PER VENT	(1) 37.2 SQ IN @ 4" DIA.
(2) 37.2 SQ IN @ 4" DIA.	(3) 14.8 SQ IN @ 4" DIA.
TOTAL PROVIDED VENTILATION	473.2 SQ IN



**ROOF PLAN**  
SCALE: 3/8" = 1'-0"

11/22/2016 3:13:00 PM



**ROOF DRAIN**  
SCALE: 1/4" = 1'-0"

**ROOF MEMBRANE DETAIL**  
SCALE: 1/4" = 1'-0"

**PLATO STUDIO**  
PLATO  
STUDIO  
MARINAKOS, JR.  
ARCHITECT, LLC  
www.plato-studio.com

1035 3RD FLOOR  
PHILADELPHIA, PA 19103  
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215-625-2523 CELL  
plato@plato-studio.com

**UNIVERSAL BUILDING & CO.**

OWNER

ARCHITECT: REAL MATTER FIRM LLC PA

CLIENT: UNIVERSAL BUILDING & CO.

CLIENT REPRESENTATIVE: UNIVERSAL BUILDING & CO.

DATE: \_\_\_\_\_

SCALE: 1/4" = 1'-0"

PROJECT NUMBER: \_\_\_\_\_

DATE: \_\_\_\_\_

PROJECT NAME: \_\_\_\_\_

PROJECT ADDRESS: \_\_\_\_\_

PROJECT CITY: \_\_\_\_\_

PROJECT STATE: \_\_\_\_\_

PROJECT ZIP: \_\_\_\_\_

PROJECT CONTACT: \_\_\_\_\_

PROJECT PHONE: \_\_\_\_\_

PROJECT FAX: \_\_\_\_\_

PROJECT EMAIL: \_\_\_\_\_

PROJECT WEBSITE: \_\_\_\_\_

PROJECT ADDRESS: \_\_\_\_\_

PROJECT CITY: \_\_\_\_\_

PROJECT STATE: \_\_\_\_\_

PROJECT ZIP: \_\_\_\_\_

PROJECT CONTACT: \_\_\_\_\_

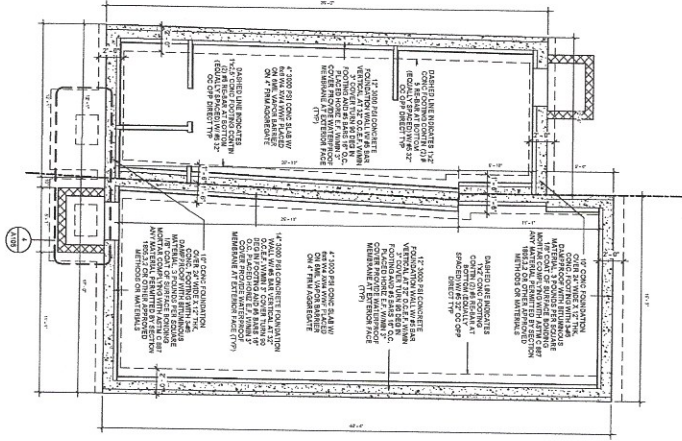
PROJECT PHONE: \_\_\_\_\_

PROJECT FAX: \_\_\_\_\_

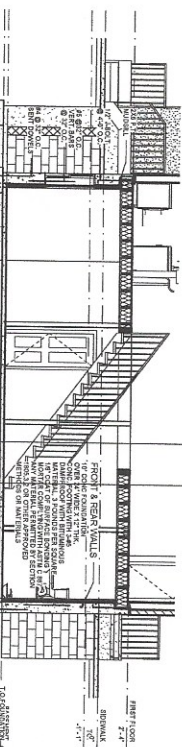
PROJECT EMAIL: \_\_\_\_\_

PROJECT WEBSITE: \_\_\_\_\_

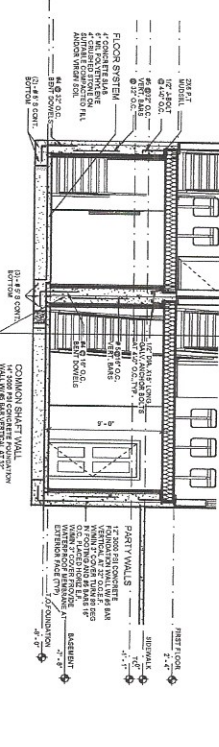
1 FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



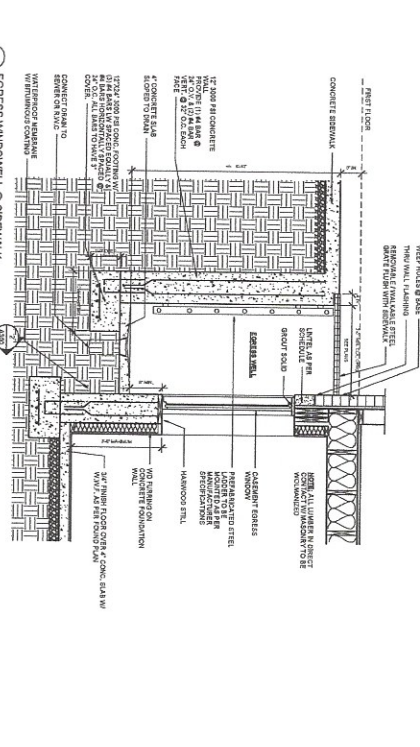
2 LONGITUDINAL SECTION  
SCALE: 1/4" = 1'-0"



3 TRANSVERSE SECTION  
SCALE: 1/4" = 1'-0"



4 EGRESS WINDOW @ SIDEWALK  
SCALE: 1/4" = 1'-0"



FRAMING NOTES

1. ALL STEEL MEMBERS SHALL BE SHIP LUGS  
2. ALL STEEL MEMBERS SHALL BE NON-FERROUS WELDING  
3. ALL STEEL MEMBERS SHALL BE NON-FERROUS WELDING  
4. ALL STEEL MEMBERS SHALL BE NON-FERROUS WELDING  
5. ALL STEEL MEMBERS SHALL BE NON-FERROUS WELDING  
6. ALL STEEL MEMBERS SHALL BE NON-FERROUS WELDING  
7. ALL STEEL MEMBERS SHALL BE NON-FERROUS WELDING  
8. ALL STEEL MEMBERS SHALL BE NON-FERROUS WELDING  
9. ALL STEEL MEMBERS SHALL BE NON-FERROUS WELDING  
10. ALL STEEL MEMBERS SHALL BE NON-FERROUS WELDING

UNITEL SCHEDULE

DESCRIPTION	UNITEL
1" x 4" x 1/4" STEEL	1-4
2" x 4" x 1/4" STEEL	2-4
3" x 4" x 1/4" STEEL	3-4
4" x 4" x 1/4" STEEL	4-4
5" x 4" x 1/4" STEEL	5-4
6" x 4" x 1/4" STEEL	6-4
7" x 4" x 1/4" STEEL	7-4
8" x 4" x 1/4" STEEL	8-4
9" x 4" x 1/4" STEEL	9-4
10" x 4" x 1/4" STEEL	10-4



OWNER  
UNIVERSAL BUILDING & CO.

ARCHITECT  
PLATO STUDIO  
PLATO A. MANNAKOS, JR.  
ARCHITECT, LLC  
www.plato-studio.com

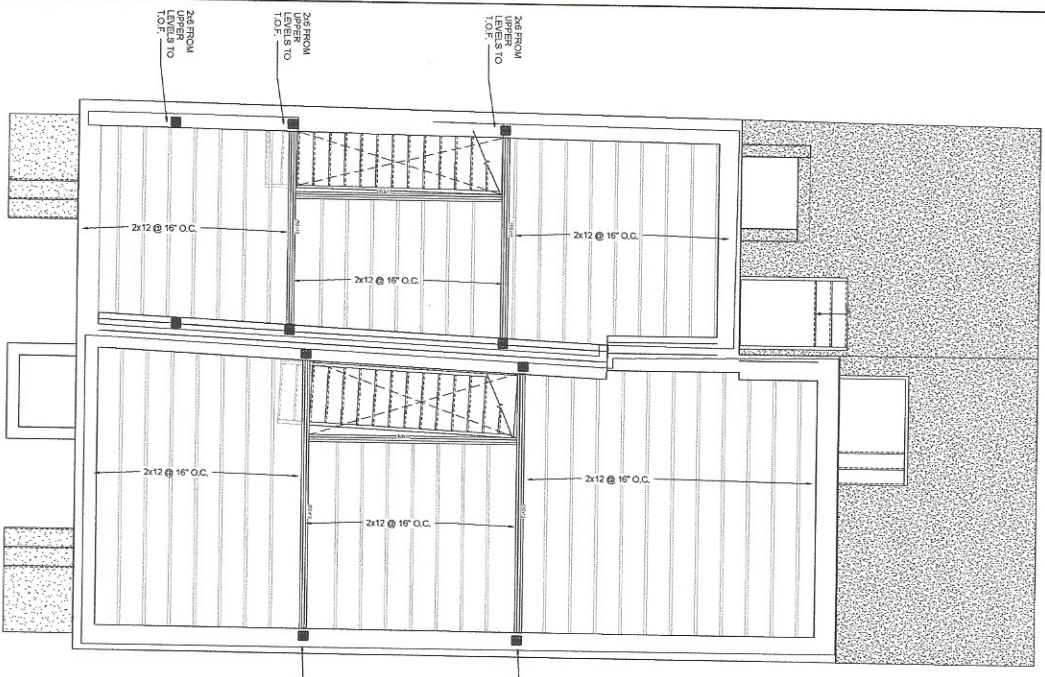
Project Number	A105
Scale	As Indicated
Drawn by	Architect
Checked by	Architect

FOUNDATIONS  
2579-2581 EAST  
HUNTINGDON STREET

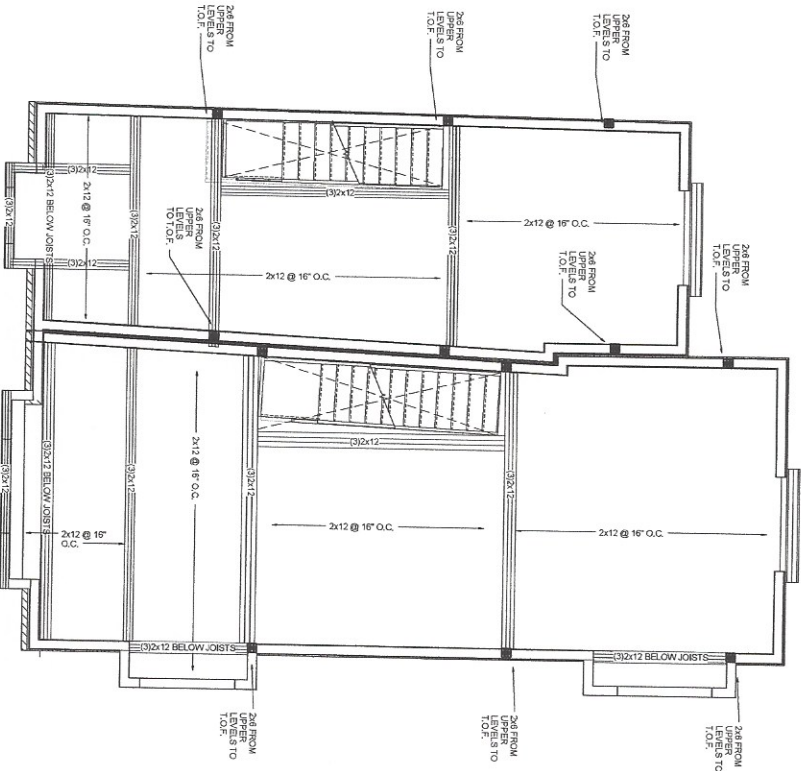


11/2/2016 3:13:07 PM

1 - Framing Plan (Proposed)



2 - Framing Plan (Proposed)



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 PLATO MARINAKOS, JR.  
 ARCHITECT, LLC  
 www.plato-studio.com

1035 2nd Floor  
 Philadelphia, PA 19108  
 610.267.7972 CELL  
 philo@plato-studio.com

ARCHITECT: BIL WATFORD  
 OWNER:  
**UNIVERSAL BUILDING & CO.**

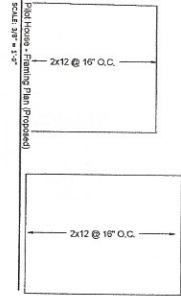
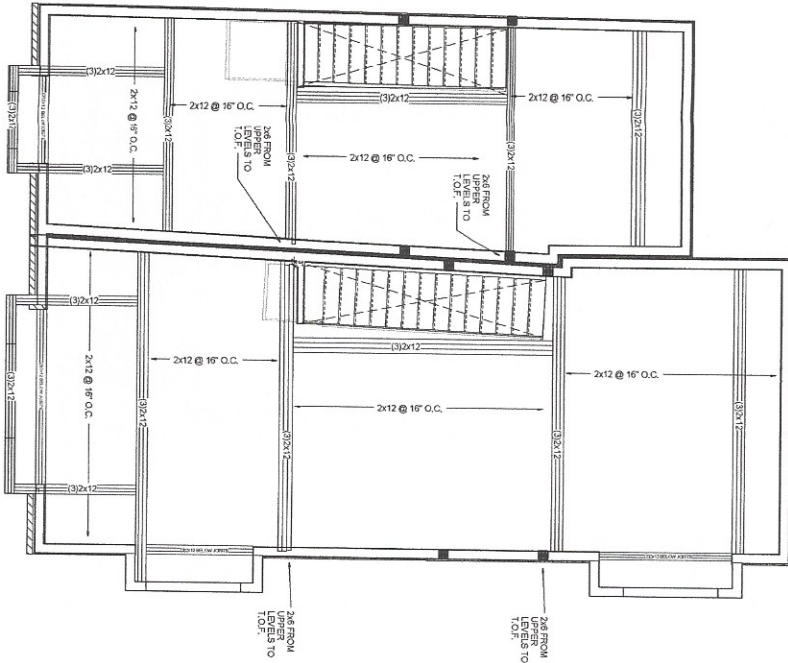


PLATO A. MARINAKOS, JR. ARCHITECT, LLC  
 2579-2581 EAST HUNTINGDON STREET  
 PHILADELPHIA, PA 19108  
 610.267.7972 CELL  
 philo@plato-studio.com

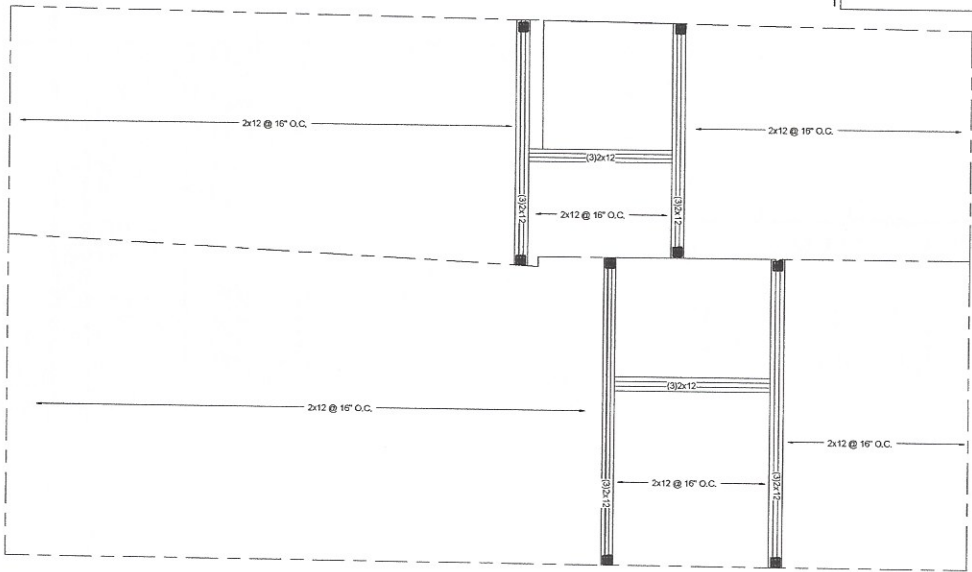
Project Name	2579-2581 EAST HUNTINGDON STREET
Project Number	A105.1
Client Name	UNIVERSAL BUILDING & CO.
Client Address	
Client Phone	
Client Email	
Client Website	
Client Logo	
Client Notes	
Client Comments	
Client Signatures	
Client Date	

11/2/2016 3:13:08 PM

3 - Framing Plan (Proposed)  
SCALE: 3/8" = 1'-0"



Roof - Framing Plan (Proposed)  
SCALE: 3/8" = 1'-0"



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2579-2581 EAST HUNTINGDON STREET  
FRAMING PLANS  
Project Number: A105.2  
Scale: 3/8" = 1'-0"

Prepared by: [Name]  
Checked by: [Name]  
Date: [Date]

PLATO ARCHITECTURE & INTERIOR DESIGN  
1000 15th Street, Suite 100  
Boulder, CO 80502  
Phone: 303.440.1111  
www.plato-studio.com

UNIVERSAL BUILDING & CO.

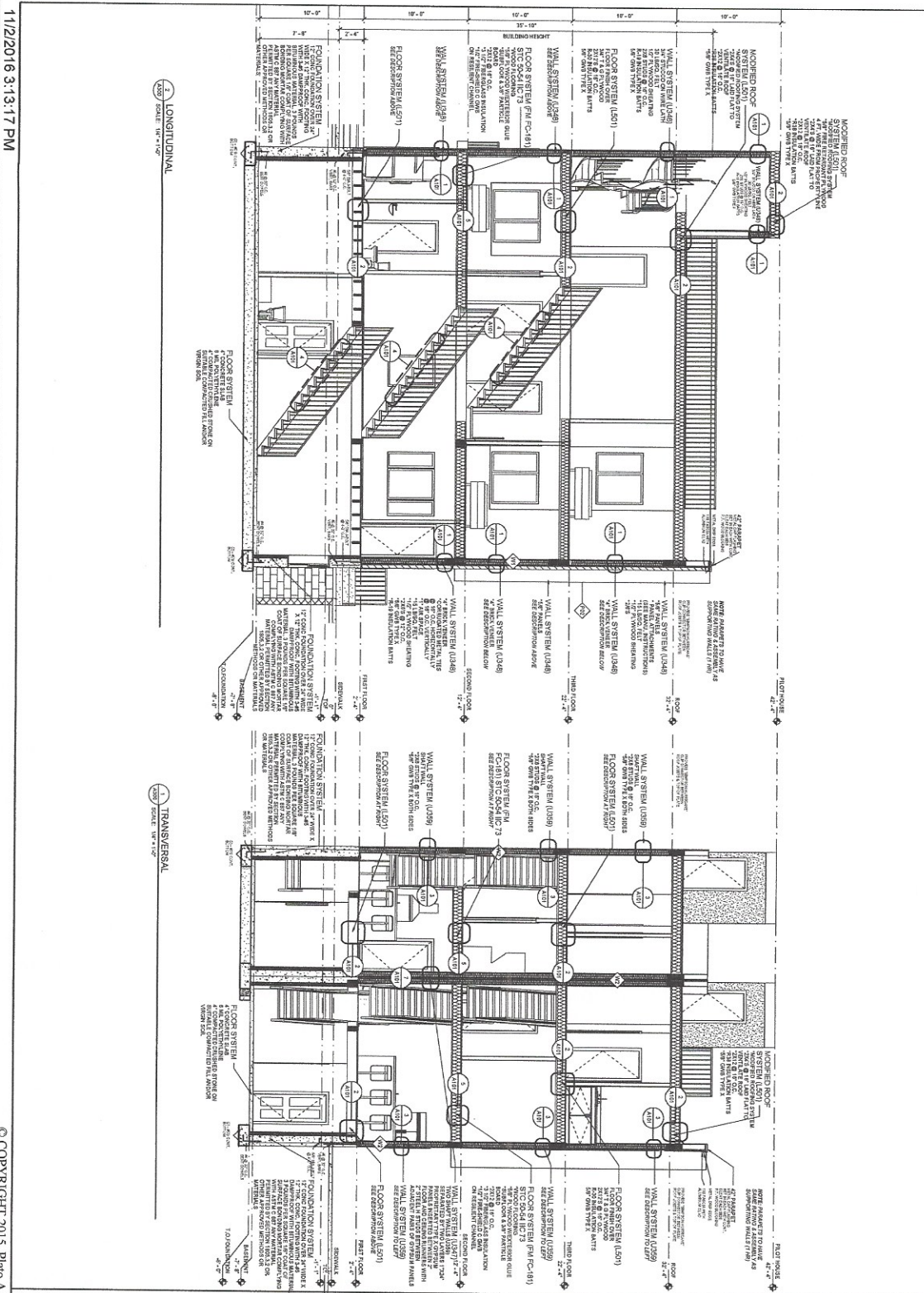
REGISTERED PROFESSIONAL ARCHITECT  
PLATO A. MARINAKOS, JR.  
No. 1000 15th Street, Suite 100  
Boulder, CO 80502  
Phone: 303.440.1111  
www.plato-studio.com

OWNER: UNIVERSAL BUILDING & CO.

ARCHITECT: PLATO A. MARINAKOS, JR.

11/2/2016 3:13:08 PM

11/2/2016 3:13:17 PM



**LONGITUDINAL**  
SCALE: 1/8" = 1'-0"

**TRANSVERSAL**  
SCALE: 1/8" = 1'-0"

**PLATO STUDIO**  
PLATO MARINAKOS, JR. ARCHITECT, LLC  
www.plato-studio.com  
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PHILADELPHIA, PA 19103  
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610-527-7879 CELL  
610-527-7879 FAX  
WWW.PLATO-STUDIO.COM

UNIVERSAL BUILDING & CO.  
ARCHITECT: 06/14/2017 10:52 AM  
DATE: 11/2/2016  
CLIENT'S REQUIREMENTS:  APPROVED AS SHOWN  
CHECKED: 11/2/2016 ONLY  
DATE: 11/2/2016  
CLIENT'S NAME:

PROJECT NUMBER: PLATO MARINAKOS, JR. ARCHITECT, LLC  
DRAWN BY: PLATO MARINAKOS, JR. ARCHITECT, LLC  
CHECKED BY: PLATO MARINAKOS, JR. ARCHITECT, LLC  
DATE: 11/2/2016

2579-2581 EAST HUNTINGDON STREET

SECTIONS  
A300

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215-586-5252 / 215-586-5253  
610-527-7879 CELL  
610-527-7879 FAX  
WWW.PLATO-STUDIO.COM

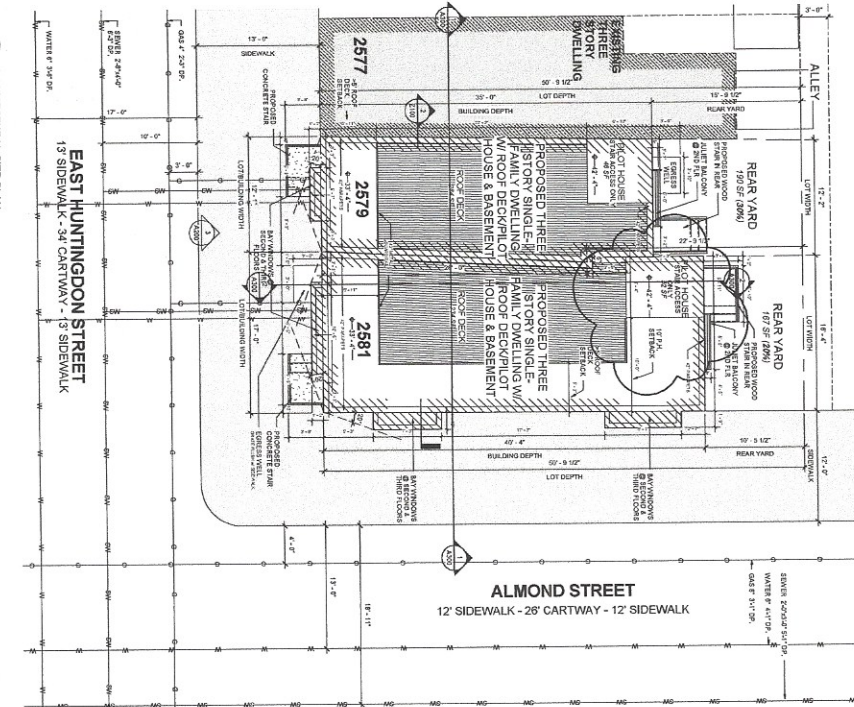
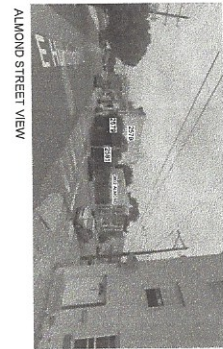
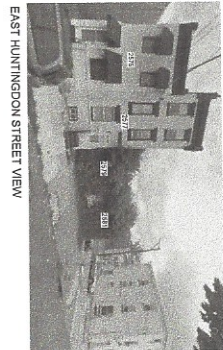
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DATE: 11/2/2016  
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CHECKED: 11/2/2016 ONLY  
DATE: 11/2/2016  
CLIENT'S NAME:

PROJECT NUMBER: PLATO MARINAKOS, JR. ARCHITECT, LLC  
DRAWN BY: PLATO MARINAKOS, JR. ARCHITECT, LLC  
CHECKED BY: PLATO MARINAKOS, JR. ARCHITECT, LLC  
DATE: 11/2/2016

2579-2581 EAST HUNTINGDON STREET

SECTIONS  
A300

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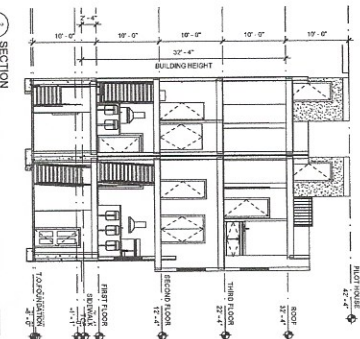


ARCHITECTURAL SITE PLAN

**2579 DEED**

**2581 DEED**

**2581 DEED**



SECTION

<b>Property Schedule</b>	Record No.	Area	Proposed
	137130	1.81 AC	
	137130 1370 EAST HUNTINGDON STREET 1/80 SF SINGLE FAMILY 137131 1307 EAST HUNTINGDON STREET 1/80 SF SINGLE FAMILY <b>RSAs</b> PROPOSED DISTRICT VALUE: 450,000 2016 EAST HUNTINGDON STREET		
<b>PLANNING</b>	PLANNING	APPROVED	3/24/17
<b>LEGAL</b>	LEGAL	APPROVED	3/24/17
<b>PERMITS</b>	PERMITS	APPROVED	3/24/17
<b>COMMENTS</b>	ALL TRAIL CREVICES AND JOINTS SHALL BE FINISHED IN ACCORDANCE WITH THE CITY OF ALBANY, NEW YORK, DEPARTMENT OF PUBLIC WORKS, SECTION 1205.11, WITH THE FOLLOWING MODIFICATIONS: 1. ALL TRAIL CREVICES AND JOINTS SHALL BE FINISHED WITH A 1/4" x 3/4" x 1/4" GROUT. 2. ALL TRAIL CREVICES AND JOINTS SHALL BE FINISHED WITH A 1/4" x 3/4" x 1/4" GROUT. 3. ALL TRAIL CREVICES AND JOINTS SHALL BE FINISHED WITH A 1/4" x 3/4" x 1/4" GROUT. 4. ALL TRAIL CREVICES AND JOINTS SHALL BE FINISHED WITH A 1/4" x 3/4" x 1/4" GROUT. 5. ALL TRAIL CREVICES AND JOINTS SHALL BE FINISHED WITH A 1/4" x 3/4" x 1/4" GROUT. 6. ALL TRAIL CREVICES AND JOINTS SHALL BE FINISHED WITH A 1/4" x 3/4" x 1/4" GROUT. 7. ALL TRAIL CREVICES AND JOINTS SHALL BE FINISHED WITH A 1/4" x 3/4" x 1/4" GROUT. 8. ALL TRAIL CREVICES AND JOINTS SHALL BE FINISHED WITH A 1/4" x 3/4" x 1/4" GROUT. 9. ALL TRAIL CREVICES AND JOINTS SHALL BE FINISHED WITH A 1/4" x 3/4" x 1/4" GROUT. 10. ALL TRAIL CREVICES AND JOINTS SHALL BE FINISHED WITH A 1/4" x 3/4" x 1/4" GROUT.		
<b>STREETS DEPARTMENT</b>	SINGLE EAST HUNTINGDON STREET STREET BREAK-DOWN: EAST HUNTINGDON STREET 12' SIDEWALK * 26' CARTWAY * 12' SIDEWALK * 50 FT WIDE 12' SIDEWALK * 26' CARTWAY * 12' SIDEWALK * 50 FT WIDE		
<b>ZONING APPROVAL STAMP</b>	EAST HUNTINGDON STREET PROPOSED EXISTING EAST HUNTINGDON STREET PROPOSED EXISTING 2579 DEED PROPOSED EXISTING 2581 DEED PROPOSED EXISTING 137130 APPROVED 3/24/17		
<b>BUILDING APPROVAL STAMP</b>	PLATO ARCHITECTURE & DESIGN LLC REGISTERED PROFESSIONAL ARCHITECT 615-509-7978 www.plato-studio.com		
<b>ZONING</b>	2579-2581 EAST HUNTINGDON STREET <b>Z100</b>		
<b>OWNER</b>	UNIVERSAL BUILDING & CO.		
<b>ARCHITECT</b>	PLATO ARCHITECTURE & DESIGN LLC		
<b>ENGINEER</b>	(Seal and Stamp)		
<b>DATE</b>	11/20/2016		
<b>CHECKED BY</b>	(Signature)		
<b>DATE</b>	11/20/2016		
<b>CHECKED BY</b>	(Signature)		
<b>DATE</b>	11/20/2016		
<b>SCALE</b>	AS SHOWN		

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